

Development Review Committee is represented by the City of Chehalis:
Building and Planning | Engineering | Public Works | Fire Department | Police Department | Airport

Development Review Committee Agenda

Chehalis Building and Planning Department

April 26, 2023, at 9 A.M.

Meeting Location: Chehalis Airport Conference Room

9:00 AM ST-23-0007, Self Service Ice Kiosk, 622 N. National

The applicant proposes a self-service ice and water kiosk. The property is zoned CG, General Commercial. Lewis County parcel ID # 005698000000. The property is approximately 0.136 acres; 5,944 sq ft.

9:30 AM ST-23-0006, Food Bank, 750 SW 21st Street

Applicant is proposing adding additional covered storage and covered parking. The property is zoned CG, General Commercial. Lewis County parcel ID # 010775002002. The site is approximately 1.34 acres; 58,370 sq ft.

10:00 AM AC-23-011, Lewis County Gospel Mission, 72 SW Chehalis Ave

The Lewis County Gospel Mission proposes a new 2400 sq ft two story building with offices on the second floor and a thrift store on the bottom floor. A future building will be constructed on the east side of the lot at a future time. Zoning: CG, General Commercial. Lewis County parcel ID #003984001000. The site is approximately 0.459 acres; 19,994 sq ft.

10:30 Interdepartmental staff meeting.

Join Zoom Meeting

<https://us06web.zoom.us/j/83910241095?pwd=dUIlYm0rTkt6SHZCZjkxUTRlVDBUUT09>



Vicinity map for ST-23-0007
622 N. National Ave
Ice Kiosk





Return your permit application to Community Development
 Department
 1321 S Market Blvd. Chehalis, WA 98532
 (360) 345-2229
 www.ci.chehalis.wa.us email: comdev@ci.chehalis.wa.us

Job address: 622 N. National Ave

Parcel #: 005698000000

Applicant/Contact person

Name: Fuller Designs- Cassie Fuller

Mailing address: 1111 Kresky Ave, Suite 100

City, State, and Zip: Centralia, WA 98531

Phone #: (360)807-4420 Email: (required) Cfuller@fullerdesigns.org

Contractor/Engineer/Surveyor

Contact Name: Aaron Fuller, PE

Company/Firm Name: Fuller Designs

Mailing address: 1111 Kresky Ave, Suite 100

City, State, and Zip: Centralia, WA 98531

Phone #: (360)807-4420 Email: (required) Afuller@fullerdesigns.org

Contractor's L&I #:

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)

The project proposes to construct a self-serve ice kiosk as well as 4 parking stalls and frontage improvements. See attached narrative for more information.

Current market value of proposed work: \$100,000
 (Fair market labor and materials)

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: <u>C. Fuller</u>	Date: <u>3/30/2023</u>
Print Name: <u>Cassie Fuller</u>	

Office use only

Received by: <u>YJ</u>	Date Received: <u>3/31/23</u>
Parcel #: <u>005698000000</u>	
Permit #: <u>ST-23-0007</u>	
Zoning: <u>CG</u>	
Flood Zone: yes <input type="radio"/> no <input checked="" type="radio"/>	Zone Classification:



1111 Kresky Ave, Suite 100
Centralia, WA 98531
(360) 807-4420
www.fullerdesigns.org

03/30/2023

RE: City of Chehalis Planning Dept.
1321 S Market Blvd
Chehalis, WA 98532

RE: 622 N National Ave
Project: Ice Kiosk
Parcel #: 005698000000

City of Chehalis Staff,

Please accept this narrative and attached plans for Land Use Application. The following narrative is intended to provide an overall direction of the development and help address any issues that might arise over the course of the project.

Existing Conditions

This project consists of one parcel on the corner of N National Ave and NE Washington Ave in the City limits of Chehalis. The site is a vacant paved lot that has been cleared of debris and vegetation overgrowth. The site is classified as CG-General Commercial on the City of Chehalis Zoning Map.

Power, communications, sanitary sewer, and water follow the curve from N National Ave to NE Washington Ave. There is also a gas main along NE Washington Ave which ends at the southern-most corner of the project boundary lines.

Proposed Improvements

This project proposes to construct an ice kiosk along with 4 parking stalls. The project would also implement frontage improvements to the western side of the property along the curve from N National Ave to NE Washington Ave including curb, gutter, sidewalk, and landscaping.

Zoning

The existing parcel is zoned for CG-General Commercial according to the City of Chehalis Zoning Map. A drive-up business such as the proposed ice kiosk is an allowed use within this zoning.

Wet Utilities

The water and standard meter are currently located along N National Ave. Water will need to be extended up to the building. The contractor will locate and extend the existing water service and install a double check backflow preventer below ground (see plan sheet C5.1).

The nearest sewer for the site is along the curve from N National Ave to NE Washington Ave. The intent is to install a sanitary sewer lateral connection extension and cleanout (see plan



1111 Kresky Ave, Suite 100
Centralia, WA 98531
(360) 807-4420
www.fullerdesigns.org

sheet C5.1)

There is a gas main along NE Washington Ave which ends at the southern-most corner of the project boundary lines which will not be utilized as part of this project.

Dry Utilities – Power/Communication

Power and communications run overhead along N National Ave past the project site. The capacity of this line is not known. Lewis County PUD will prepare power and communication extension plans throughout the project once the site plan is approved.

Stormwater

The facility will utilize a combination of a roof downspout, rain garden, conveyance swale, and riser with beehive grate and outlet pipe to manage stormwater runoff. Details of these facilities have been provided in the civil construction plans.

Critical Areas

Lewis County GIS Data identifies slopes along the north edge of the parcel boundaries which are contained by a retaining wall. Otherwise, there are no impacting critical areas. A geotechnical report has been prepared and identifies that these slopes are adequately mitigated.

Roads/Access/Frontage Improvements.

The site will utilize the southern access points off N National Ave. This access point is shown on the plans. Frontage improvements have been proposed along N National Ave to NE Washington Ave to add curb, gutter, sidewalks, and landscaping. This site currently has 2 access points. In the proposed condition, only the southernmost access will remain.

Buildings

No buildings are currently located on the property.

The Ice Kiosk machine will be placed on a 12.4' X 25' concrete pad in the northern part of the property. This ice kiosk is a self-contained machine instead of a standard building.

Thank you for accepting this application for Land Use. We look forward to receiving your comments and preparing the project for final construction approval.

Sincerely,

Aaron Fuller, PE

Fuller Designs

afuller@fullerdesigns.org

PROJECT INFORMATION:

APPLICANT: JEFF BASS
1 HEDGEBROOK COVE
THE HILLS, TX 78738
SITE ADDRESS: 622 N NATIONAL AVE
CHEHALIS, WA 98532
PARCEL NUMBER: 005698000000
ZONING (CITY): CG - GENERAL COMMERCIAL
LOTS: 1 EXISTING 1 PROPOSED
ACRES: 0.14
SITE SOILS: MELBOURNE LOAM, 8 TO 15 PERCENT SLOPES
WATER: CITY OF CHEHALIS
SANITARY SEWER: CITY OF CHEHALIS
GRADING: 10± CY CUT
20± CY FILL
PARKING STALLS: 9'X18' (TYP 4)

SURVEY INFORMATION:

BASIS OF BEARING
THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 30, BEARS NORTH 01°28'33" EAST, AS SHOWN HEREON.
BASIS OF ELEVATION
NAVD 88

GEOTECHNICAL INFORMATION:

A GEOTECHNICAL REPORT WAS PREPARED BY QUALITY GEO. ALL CONSTRUCTION SHALL COMPLY WITH THIS REPORT.

TOPOGRAPHIC INFORMATION:

TOPOGRAPHIC INFORMATION DEPICTED IN THESE DRAWINGS WAS PROVIDED BY H2 SURVEYING, LLC. TOPOGRAPHIC INFORMATION WAS NOT FIELD VERIFIED BY FULLER DESIGNS.

LEGEND

Table with columns: LINETYPES, PROPOSED, DESC. Includes entries for BUILDING FOOTPRINT, CLEARING AND GRUBBING, CONTOUR LINE, CULVERT, EASEMENT, etc.

Table with columns: HATCH, EXISTING, PROPOSED, DESC. Includes entries for AC PAVEMENT, GRAVEL, CONCRETE, LANDSCAPE / GRASS AREA.

ABBREVIATIONS:

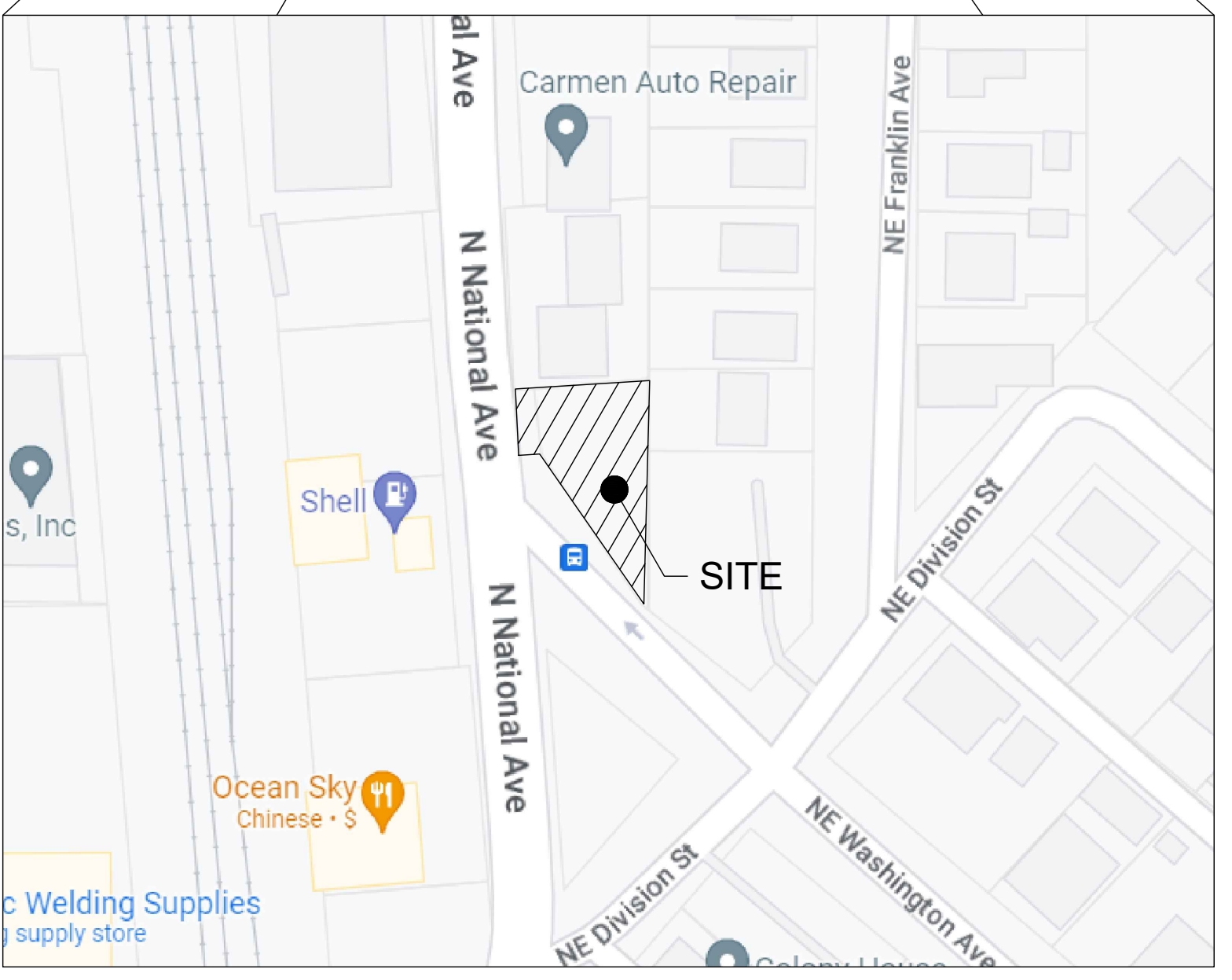
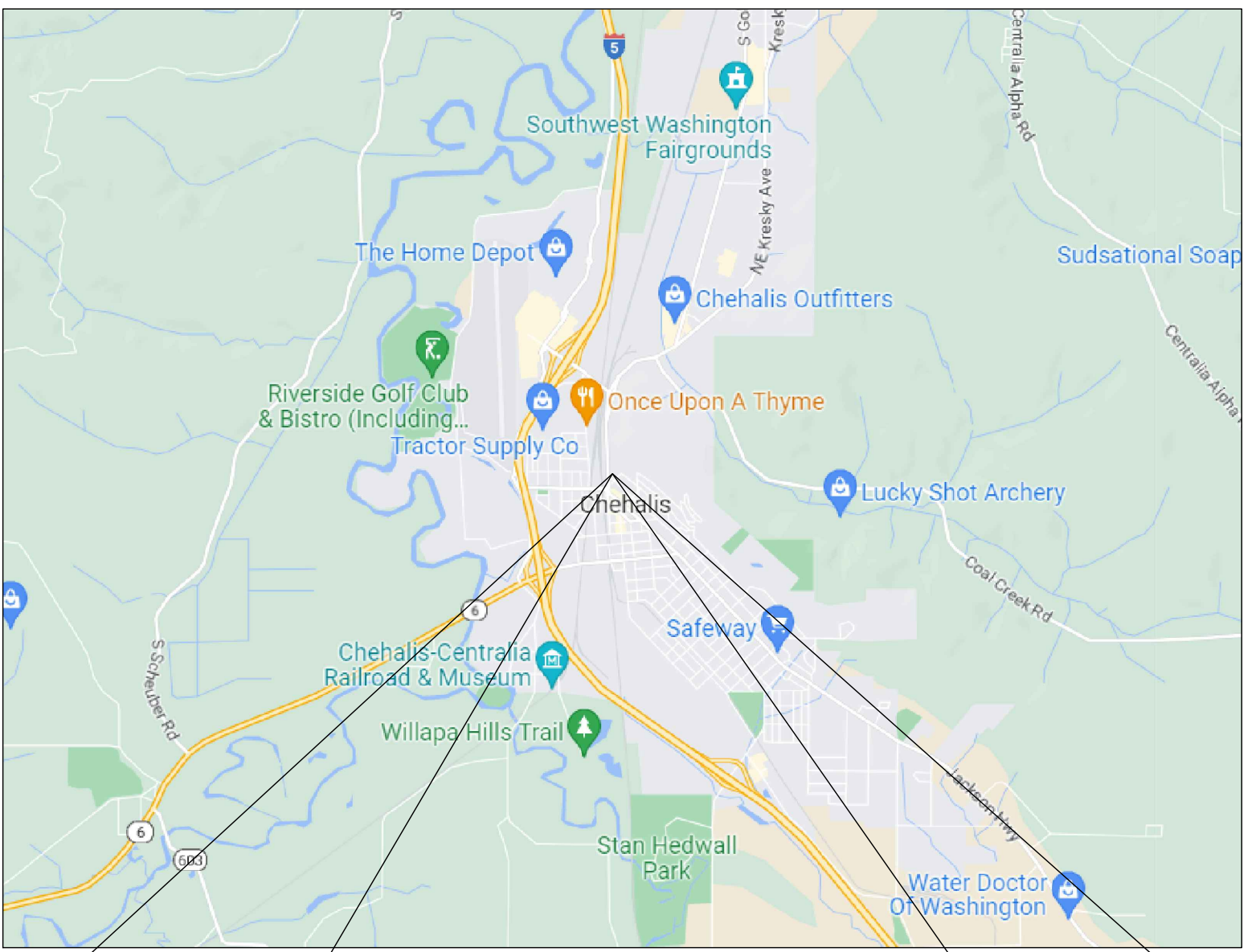
Table listing abbreviations and their meanings, such as AC ASPHALT CONCRETE, BCR BEGIN CURB RETURN, BM BENCHMARK, etc.

Table listing symbols and their meanings, such as square for CATCH BASIN, circle with cross for FIRE HYDRANT, etc.

N NATIONAL AVE (BASS)

SECTION 30 TOWNSHIP 14N RANGE 02W
CITY OF CHEHALIS
WASHINGTON

VICINITY MAP



DRAWING CONTENTS:

- C0.1 - CIVIL COVER
C1.1 - OVERALL SITE & TESC PLAN
C1.2 - TESC NOTES & DETAILS
C2.1 - HORIZONTAL CONTROL PLAN
C3.1 - GRADING & DRAINAGE PLAN & DETAILS
C4.1 - FRONTAGE IMPROVEMENT PLAN & PROFILE
C4.2 - ROADWAY DETAILS
C5.1 - UTILITY PLAN & DETAILS

APPROVED FOR CONSTRUCTION
BY: _____ DATE: _____
PUBLIC WORKS DEPARTMENT OR DESIGNATED CONSULTANT
APPROVAL EXPIRES: _____



PROJECT SPECIFICATIONS:

THE WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, 2020 WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER "STANDARD SPECIFICATIONS").

ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:

- A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
B. CITY ROAD STANDARDS
C. CITY DRAINAGE STANDARDS
D. THE INTERNATIONAL BUILDING CODE (IBC)

CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH EXIST ON THE DATE OF CONTRACT ACCEPTANCE.

CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATION AT CONTRACTOR'S OWN EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS. ONCE WORK IS COMPLETED CONTRACTOR SHALL OBTAIN ACCEPTANCE BY THE CITY AND PROJECT ENGINEER.

THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE PROJECT. OMISSIONS FROM THE DRAWINGS OF DETAIL OF WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE OMITTED WORK.

ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.

WORK IN RIGHT OF WAY:
CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO COMMENCING ANY WORK LOCATED IN RIGHT OF WAY. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS, STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE RIGHT OF WAY PERMIT.

RECORD DRAWINGS:
FULLER DESIGNS IS REQUIRED BY THE CITY TO PROVIDE RECORD DRAWING CERTIFICATION PRIOR TO FINAL CITY ACCEPTANCE. FULLER DESIGNS WILL NOT CERTIFY RECORD DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY FULLER DESIGNS OF NECESSARY INSPECTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ENGINEER OR INSPECTOR OF INCONSISTENCIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ONE SET OF THE CONTRACT DRAWINGS THAT SHALL INCLUDE: ANY ALTERATIONS OR LOCATION OF UNDERGROUND UTILITIES ENCOUNTERED DURING THE PROGRESS OF THE PROJECT, ANY ALTERATIONS MADE TO THE IMPROVEMENTS BEING INSTALLED. MARKED DRAWINGS SHALL BE CLEAR AND LEGIBLE. DRAWINGS SHALL BE MARKED "RECORD DRAWINGS" AND SHALL BE SUBMITTED TO THE ENGINEER UPON PROJECT COMPLETION.

CONTRACTOR LIABILITY NOTE:
CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY THROUGHOUT PROJECT EXECUTION AND NOT BE LIMITED TO WORKING HOURS. CONTRACTOR SHALL PROGRESS WORK IN A MANNER THAT SHALL INDEMNIFY AND HOLD FULLER DESIGNS HARMLESS FROM ALL LIABILITY IN CONNECTION WITH CONTRACTOR'S PERFORMED WORK.

REMOVAL OF UNSUITABLE MATERIALS:
IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR INSPECTOR AND REPLACED WITH SUITABLE MATERIAL.

UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR. PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER SO MEASUREMENT/PAYMENT CAN BE MADE PER TON OF UNSUITABLE MATERIAL REMOVED.

EROSION CONTROL NOTE:
EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE STRUCTURES WILL BE PERMITTED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SOILS TO ADJACENT PROPERTIES. DISTURBED EARTH SHALL BE STABILIZED AS REQUIRED BY THE STANDARD SPECIFICATIONS. INDIVIDUAL DESIGNATED TO MONITOR EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL HAVE CESCL CERTIFICATION.

GENERAL NOTES:
CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS AND UTILITY SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.

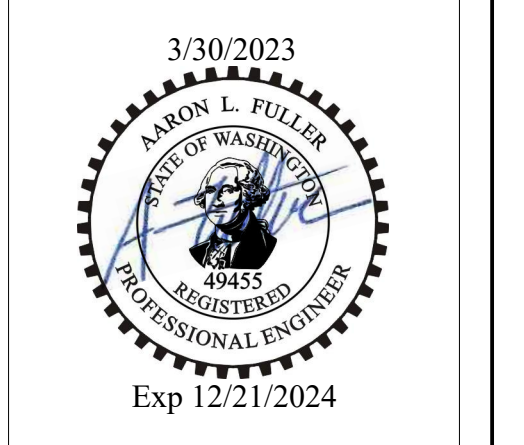
AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL PRE-CONSTRUCTION STATE OR BETTER UPON COMPLETION OF WORK.

ANY DESIGN CHANGE(S) MADE TO THE PLANS BY OUTSIDE PARTIES (INCLUDING JURISDICTIONS, CITIES AND COUNTIES), WILL BE HELD RESPONSIBLE FOR ANY LIABILITIES THAT MAY OCCUR DUE TO CHANGE(S).

UTILITIES LOCATE NOTE:

EXISTING UTILITIES LOCATION SHOWN IN THIS PLAN SET IS BASED ON INFORMATION OBTAINED FROM VARIOUS RECORDS RESEARCH, ASBUILT DATA, AND FIELD MEASUREMENTS. FULLER DESIGNS ASSUMES NO RESPONSIBILITY FOR EXACT LOCATION OF UTILITIES EITHER SHOWN OR NOT SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL VERIFY THE EXACT SIZE, DEPTH, LOCATION, AND ARRANGEMENT OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL UNDERGROUND LOCATE AT 811 PRIOR TO PERFORMING CONSTRUCTIONS ACTIVITIES.

Table with columns: DRAWING TITLE, DATE, SCALE, PROJECT NAME. Values: CIVIL COVER, 3/28/23, N/A, N NATIONAL AVE (BASS).



Fuller Designs logo and contact information: FULLER DESIGNS, 1101 KRESKY AVE, CENTRALIA, WA 98531, (360) 807-4420.

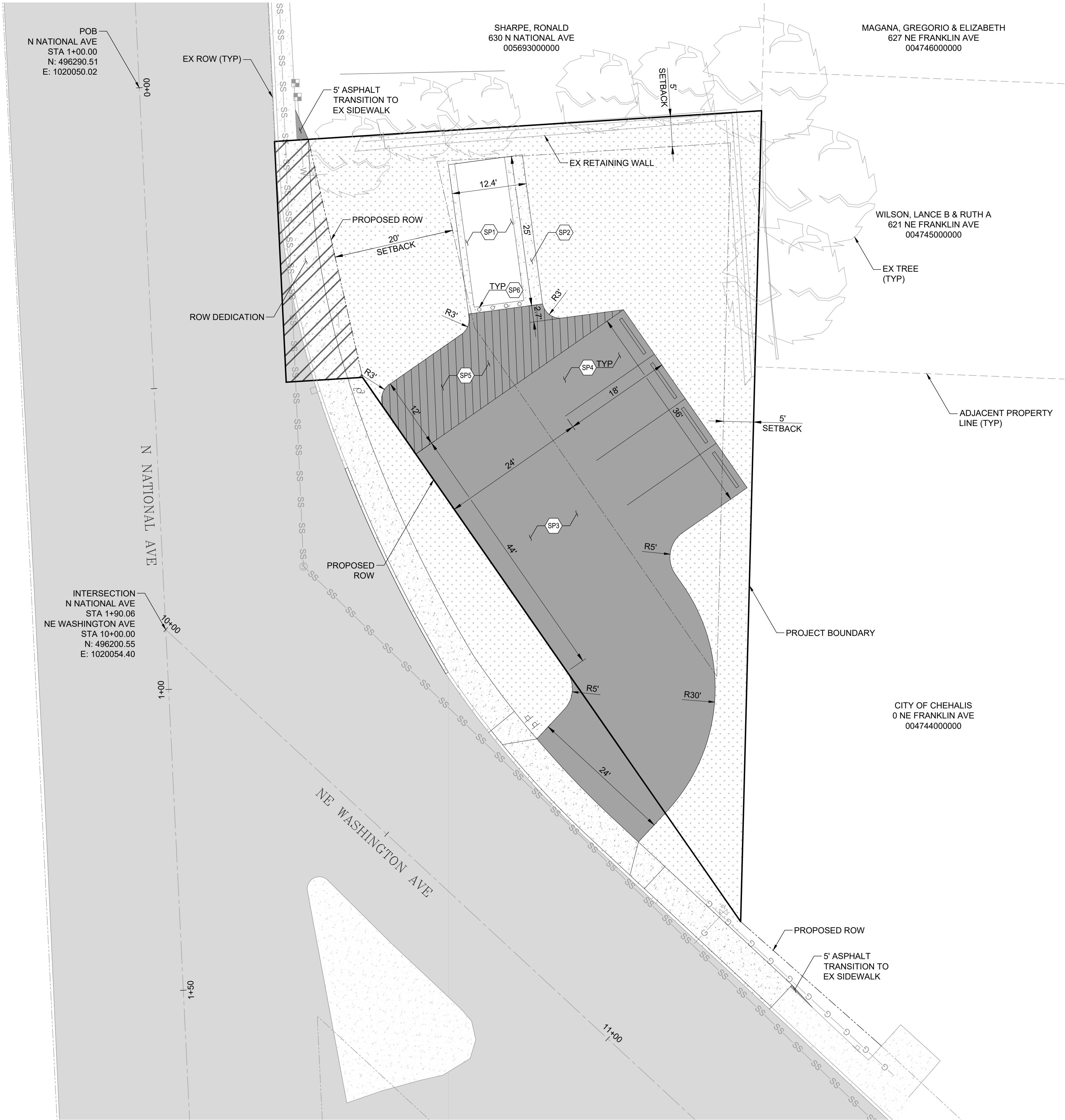
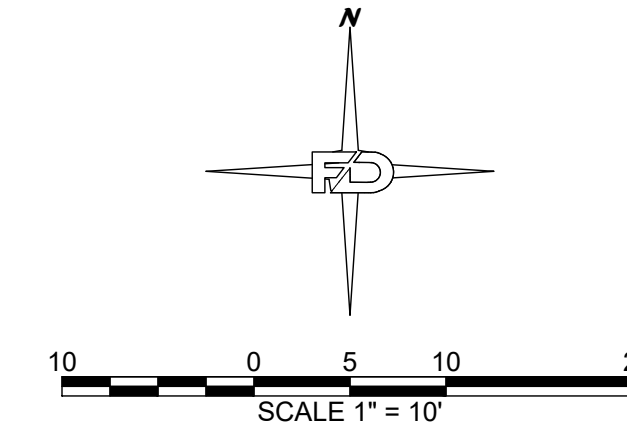
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C0.1
1 OF 8

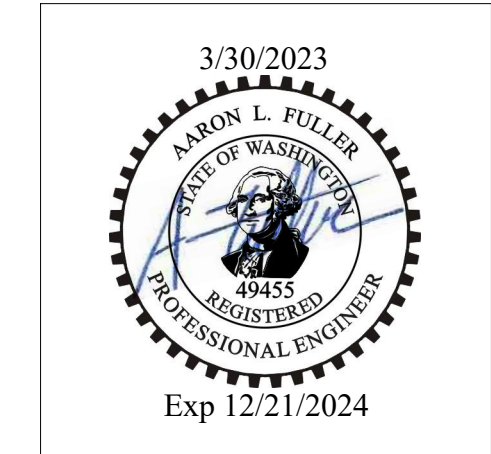
SECTION 30 TOWNSHIP 14N RANGE 02W

SITE PLAN NOTES:

- SP1 INSTALL 8'-4"X24' BUILDING
- SP2 CONSTRUCT CONCRETE PAD (310 SQ FT)
- SP3 INSTALL AC PAVE PARKING LOT
- SP4 INSTALL 9'X18' PARKING STALL (TYP OF 4)
- SP5 PAINT STRIPPED NO PARKING ZONE
- SP6 INSTALL BOLLARD (TYP OF 4)



DRAWING TITLE: HORIZONTAL CONTROL PLAN	
SCALE: 1:10	CHECKED: DM
DATE: 3/28/23	DRAWN: SD
PROJECT NAME: N NATIONAL AVE (BASS)	

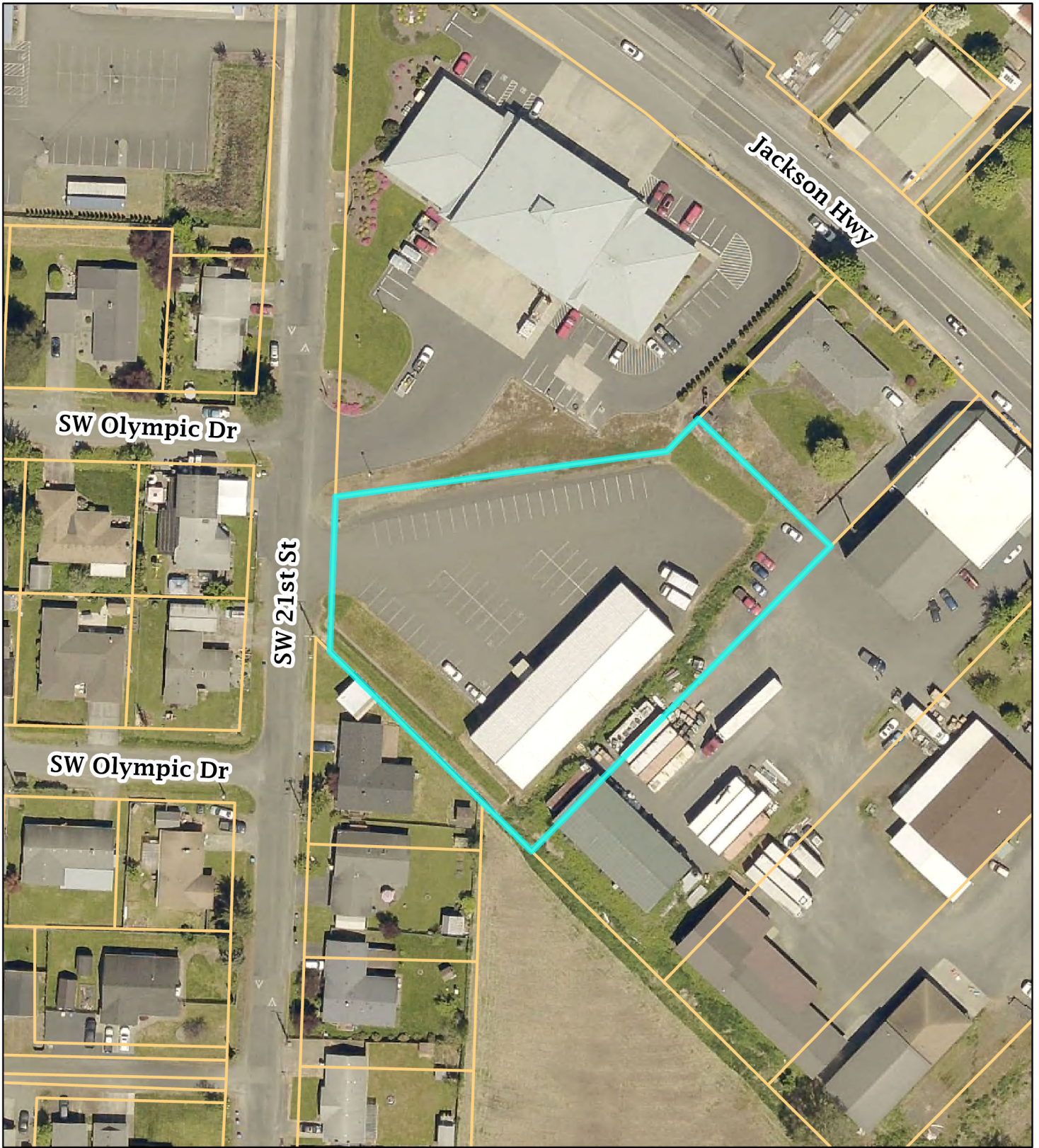


FULLER DESIGNS
 1101 KRESKY AVE
 CENTRALIA, WA 98531
 (360) 807-4420

REV.	DESCRIPTION:	DATE:
0	ISSUED FOR CONSTRUCTION	3/28/23

APPROVED FOR CONSTRUCTION
 BY _____ DATE _____
 PUBLIC WORKS DEPARTMENT OR
 DESIGNATED CONSULTANT
 APPROVAL EXPIRES: _____

C2.1
 4 OF 8



Vicinity map for ST-23-0006
750 SW 21st Street
Food Bank





CITY OF CHEHALIS

Where Heart and History Shape Our Future

Return your permit application to Community Development Department

1321 S Market Blvd. Chehalis, WA 98532

(360) 345-2229

www.ci.chehalis.wa.us email: comdev@ci.chehalis.wa.us

Job site address: 750 SW 21st Street
Chehalis, WA 98532 Parcel #: 010775002002

Applicant/Contact Person

Name: April Termini
Mailing address: 2840 Crites Street, SW, Suite 100
City, State, and Zip: Tumwater, WA 98512
Phone #: 360-709-0330 Email: (required) info@cincgc.com

Is the property owner the same as the applicant: Yes No If yes, you may skip the property owner section

Property Owner

Name: Greater Chehalis Food Bank
Mailing address: PO BOX 1311
City, State, and Zip: Chehalis, WA 98532

Contractor/Engineer/Surveyor

Contractor's L&I #: 867973-00

Contact Name: Kevin Christensen
Company/Firm Name: Christensen Inc.
Mailing address: 2840 Crites Street, SW, Suite 100
City, State, and Zip: Tumwater, WA 98512
Phone #: 360-709-0330 Email: (required) info@cincgc.com

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)

To provide covered storage and covered parking.

Current market value of proposed work:
(Fair market labor and materials)

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

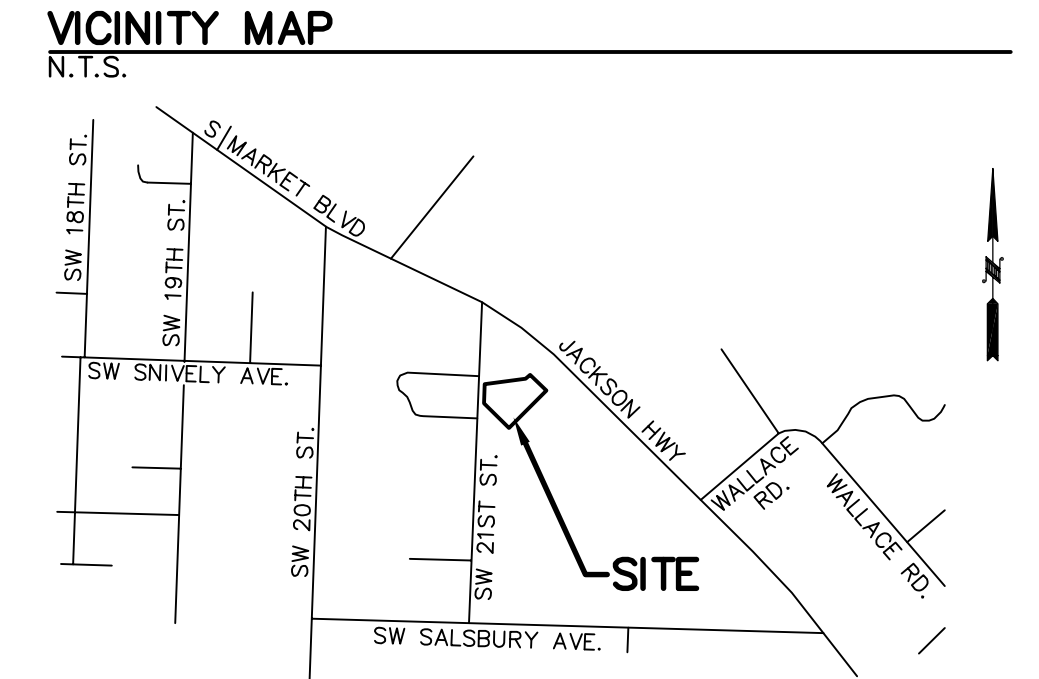
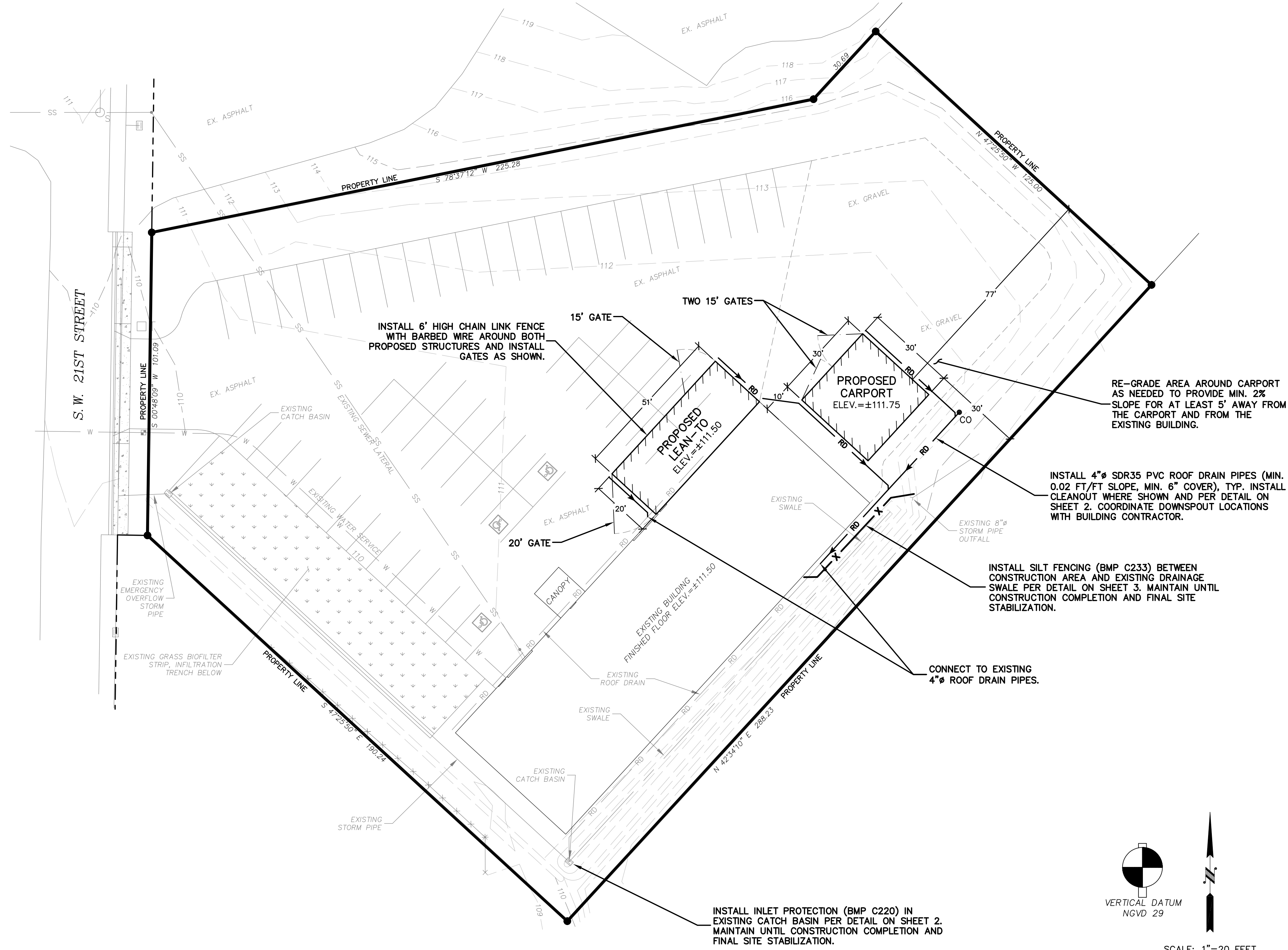
Signature: [Signature] Date: 3/21/23

Print Name: Kevin Christensen

Office use only

Received by: LF Date Received: 03/21/2023
Parcel #: 010775002002
Permit #: ST-23-0006
Zoning: CG
Flood Zone: yes no Zone Classification:

SEC 4, TWP 13N, RGE 2W, W.M.



PROJECT INFORMATION

OWNER/APPLICANT: GREATER CHEHALIS FOOD BANK
PO BOX 1311
CHEHALIS, WA 98532

PARCEL NO: 010775002002

SITE ADDRESS: 750 SW 21ST ST.
CHEHALIS, WA 98532

ZONING: CG, GENERAL COMMERCIAL

PARCEL AREA: ±1.276 ACRES (±55,560 SF)

GRADING: ±5 CY

SOILS: LACAMAS SILT LOAM (HSG C/D)
& GALVIN SILT LOAM (HSG C/D)

FEMA FIRM DESIGNATION: ZONE X (PANEL #53010213643C
& 53010213686C)

EXISTING HARD SURFACE AREAS:

ROOF:	7,646 SF
DRIVE/PARKING LOT:	28,046 SF
TOTAL:	35,692 SF

NEW/REPLACED HARD SURFACE AREAS:

ROOF:	1,920 SF
TOTAL:	1,920 SF

TOTAL HARD SURFACE AREAS AFTER PROJECT COMPLETION:

ROOF:	9,566 SF
DRIVE/PARKING LOT:	26,126 SF
TOTAL:	35,692 SF

64.2% TOTAL HARD SURFACE COVERAGE

BUILDING SETBACKS: 10' FRONT, 3' SIDE, 3' REAR

SURVEY NOTE

THE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION DEPICTED HEREON WAS OBTAINED FROM BUTLER SURVEYING, MASON ENGINEERING, AND LEWIS COUNTY RECORDS. STRUCTURES, SITE FEATURES, ELEVATIONS, ETC. SHOWN MAY BE APPROXIMATE. THIS SURVEY INFORMATION WAS NOT FIELD VERIFIED BY OLYMPIC ENGINEERING AND OLYMPIC ENGINEERING ASSUMES NO LIABILITY IN THE ACCURACY OF THIS INFORMATION OR FOR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT. THE PROPERTY LINES SHOULD BE MARKED BY A PROFESSIONAL LAND SURVEYOR PRIOR TO CONSTRUCTION START.

EROSION CONTROL

IN ADDITION TO THE BEST MANAGEMENT PRACTICES (BMP'S) SPECIFIED ON THIS PLAN, THE CONTRACTOR SHALL MINIMIZE CLEARING AND GRADING, MAINTAIN THE BMP'S UNTIL FINAL SITE STABILIZATION, AND INCORPORATE ANY ADDITIONAL BMP'S AS NECESSARY TO MINIMIZE EROSION AND SEDIMENTATION DURING CONSTRUCTION. SEE VOLUME II OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, 2019 EDITION, FOR ADDITIONAL BMP'S THAT MAY BE APPLICABLE.

PERMIT APPROVAL DURATION

IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR APPLICANT TO KEEP TRACK OF THE DURATION OF PERMIT APPROVAL. OLYMPIC ENGINEERING DOES NOT MONITOR THESE TIME FRAMES AND ASSUMES NO RESPONSIBILITY IN EXPIRED PERMITS.

SHEET INDEX

1	SITE PLAN
2	DETAILS AND NOTES

RECORD DRAWING (AS-BUILT) NOTE

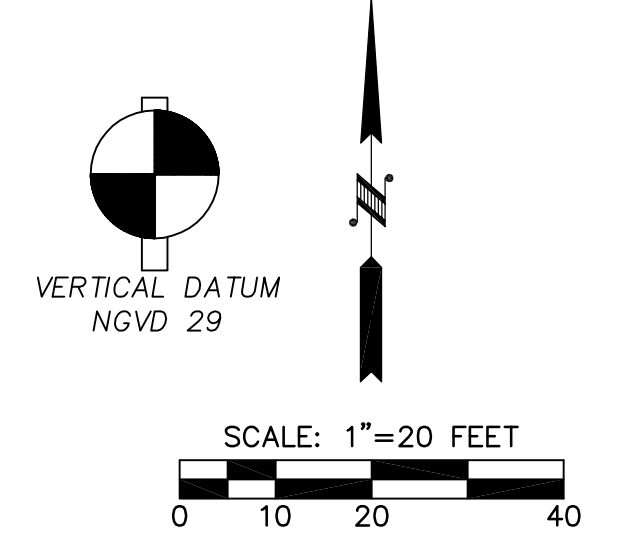
OLYMPIC ENGINEERING MAY BE REQUIRED BY THE CITY OF CHEHALIS TO PROVIDE RECORD DRAWINGS (AS-BUILTS) PRIOR TO FINAL PROJECT APPROVAL. **OLYMPIC ENGINEERING WILL NOT PREPARE THE RECORD DRAWINGS UNLESS WE HAVE INSPECTED ACTUAL INSTALLATION OF THE NEW IMPROVEMENTS AND ALL OF THE IMPROVEMENTS HAVE BEEN CONSTRUCTED PER PLAN OR AS OTHERWISE APPROVED. ADDITIONALLY, OLYMPIC ENGINEERING ASSUMES NO LIABILITY IN THE PERFORMANCE OF THE IMPROVEMENTS IF NO INSPECTIONS TAKE PLACE.** CONTRACTOR SHALL PROVIDE A MINIMUM OF 7-DAYS NOTICE FOR INSPECTIONS. CONTRACTOR SHALL PROVIDE A REDLINED AS-BUILT DRAWING AT CONSTRUCTION COMPLETION NOTING ANY CHANGES MADE.

STORMWATER RUNOFF

STORMWATER RUNOFF FROM NEW ON-SITE HARD SURFACES (ROOFS, DRIVEWAYS, ETC.) SHALL NOT BE DIRECTLY DISCHARGED TO NEIGHBORING PROPERTIES OR TO CITY RIGHT-OF-WAY.

SEASONAL WORK LIMITATIONS

FROM OCTOBER 1 THROUGH APRIL 30, CLEARING, GRADING, AND OTHER SOIL DISTURBING ACTIVITIES SHALL ONLY BE PERMITTED IF SHOWN TO THE SATISFACTION OF THE CITY OF CHEHALIS THAT SILT-LADEN RUNOFF WILL BE PREVENTED FROM LEAVING THE SITE.



"CALL UNDERGROUND LOCATE AT 811 BEFORE YOU DIG"

NO.	DATE	REVISION
1	1/26/22	ADDED FENCING & GATES

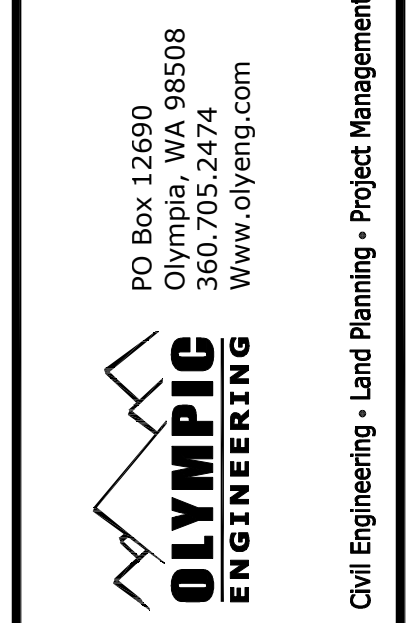
CHEHALIS FOOD BANK EXPANSION

PROJECT # _____
CHEHALIS, WASHINGTON

SITE PLAN

DESIGNED BY:	CMM
DRAWN BY:	CMM
CHECKED BY:	
SCALE:	1" = 20'
DATE:	12/15/2022

PO Box 12690
Olympia, WA 98508
360.705.2474
www.olyeng.com



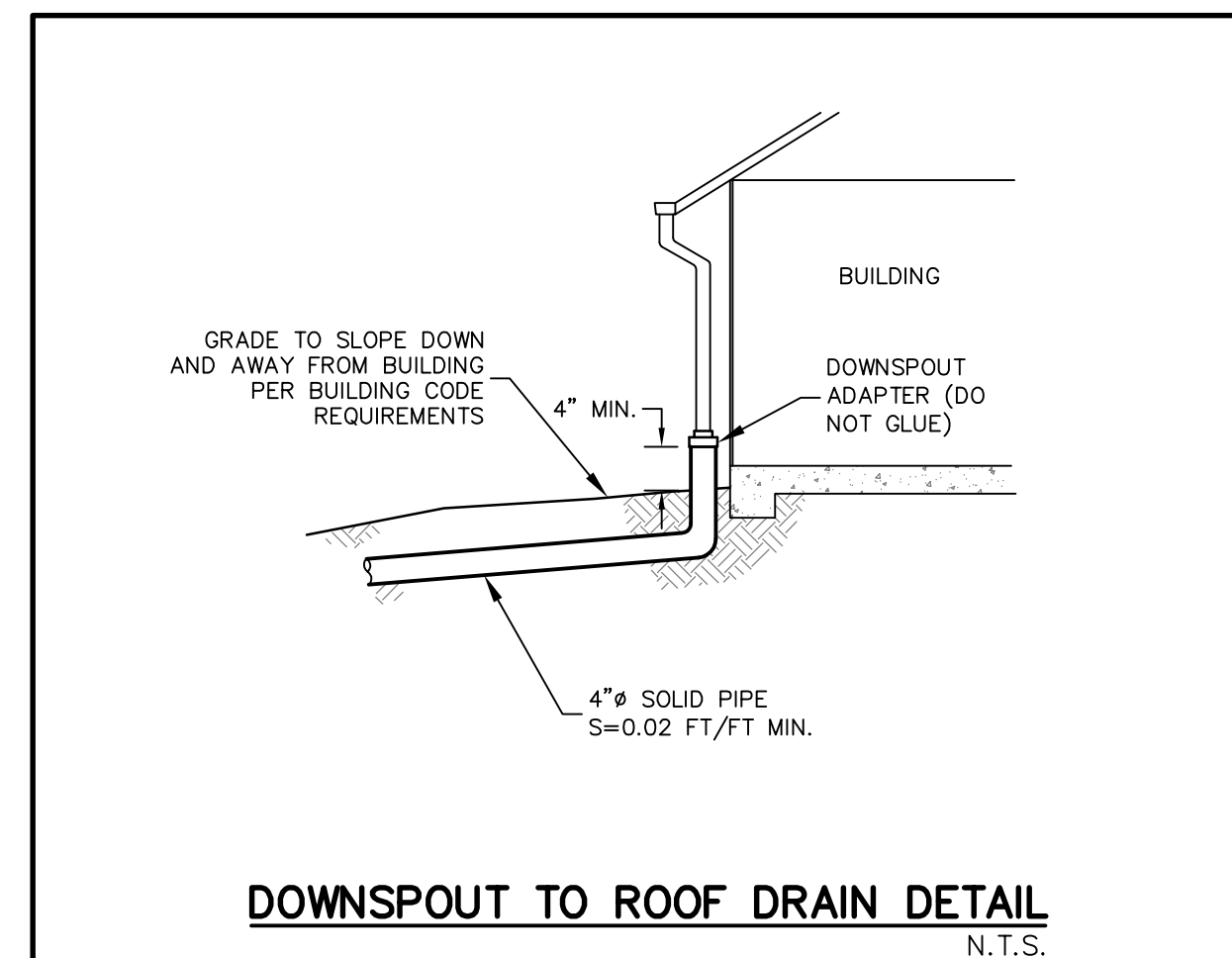
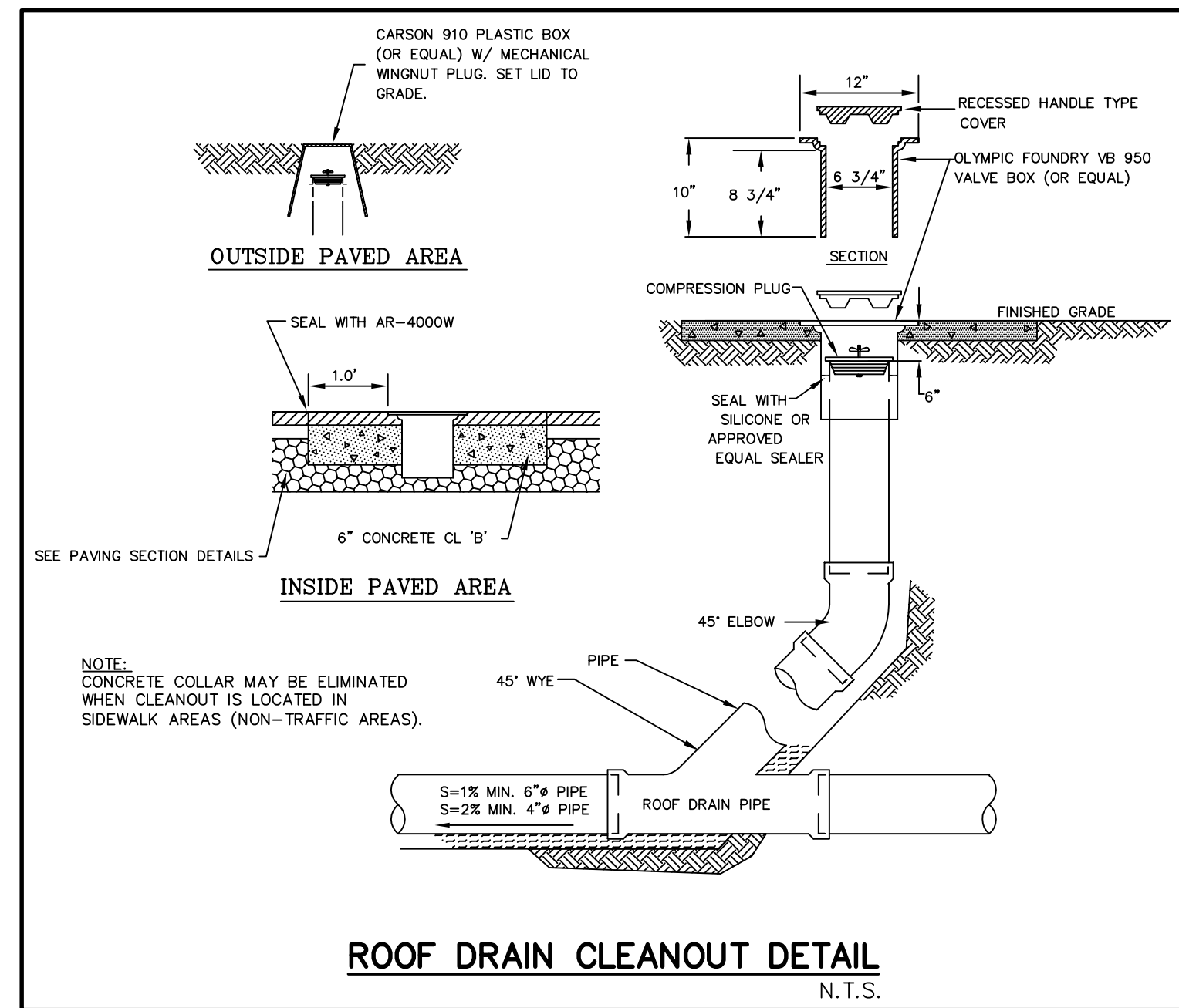
Civil Engineering - Land Planning - Project Management

JOB NUMBER: 22068
DRAWING NAME: 22068_SITE

SEC 4, TWP 13N, RGE 2W, W.M.

GENERAL NOTES (STORM DRAIN CONSTRUCTION)

- All workmanship and materials will be in accordance with the city of Chehalis development engineering standards and the most recent copy of the State of Washington Standard Specifications for Road, Bridge and Municipal Construction (WSDOT/APWA).
- Temporary erosion/water pollution measures will be required in accordance with the storm water management plan and Section 1-07.15 of the Standard Specifications.
- Comply with all other permits and requirements of the city of Chehalis and/or other governing authorities or agencies.
- A preconstruction meeting will be held with the public works department and the engineering division prior to the start of construction.
- All storm mains and retention/detention areas will be staked for grade and alignment by an engineering or surveying firm capable of performing such work.
- Storm drainpipe will meet the following requirements:
 - Plain concrete pipe conforming to the requirements of AASHTO M 86, Class 2.
 - Reinforced concrete pipe conforming to the requirements of AASHTO M 170.
 - PVC pipe conforming to ASTM D3034 SDR 35 or ASTM F794 or ASTM F679 Type 1 with joints and gaskets conforming to ASTM D3212 and ASTM F477.
 - Ductile iron pipe conforming to the requirements of AWWA C151, thickness class as shown on the plans.
 - High-density polyethylene smooth interior pipe conforming to AASHTO M 252 types or AASHTO M 294 Type S, with a gasketed bell and spigot joints.
 - Aluminized steel helical or spiral rib pipe in diameters of 30 inches or greater, with a Manning's value of 0.020 or less.
- Special structures, oil/water separators and outlet controls will be installed per plans and manufacturer's recommendations.
- Provide traffic control plan(s) as required in accordance with MUTCD to the public works department. Traffic control plans must be approved prior to the start of construction.
- Call the Utilities Underground Location Center at 1-800-424-5555 a minimum of two business days prior to any excavations.
- Where connections require "field verifications," the contractor will expose connection points and verify necessary fittings two business days prior to initiating the work.
- All storm lines and catchbasins will be high-velocity cleaned and pressure tested in accordance with Division 7 of the Standard Specifications prior to paving. Hydrant flushing of the lines is not an acceptable cleaning method. Testing of the storm main will include television inspection at the contractor's expense. The public works department or designated consultant will determine whether the inspection will be performed by the city or by a representative of the contractor under the city's direction. Testing will take place after all underground utilities are installed and compaction of the roadway subgrade is completed.
- Fill placement will not be allowed in any open channel used for storm conveyance without written approval from the public works department or designated consultant.
- Contractors and/or property owners are required to channel water when installing or repairing a driveway. Water may be channeled with a berm or a pipe. Storm water must be diverted to city storm mains when possible.
- The city must be notified a minimum of two business days in advance of a top connection to an existing main. A representative from the city must be present at the time of the top.
- Prior to backfill, all mains and appurtenances will be inspected and approved by a city inspector. Approval does constitute final acceptance of the sewer line. The contractor will retain responsibility of repairing all deficiencies and failures revealed during required testing for acceptance and throughout the duration of the warranty. It is the contractor's responsibility to notify the city in advance of all required inspections. Any main or appurtenance backfilled prior to inspection will be reexcavated for inspection at no cost to the city.



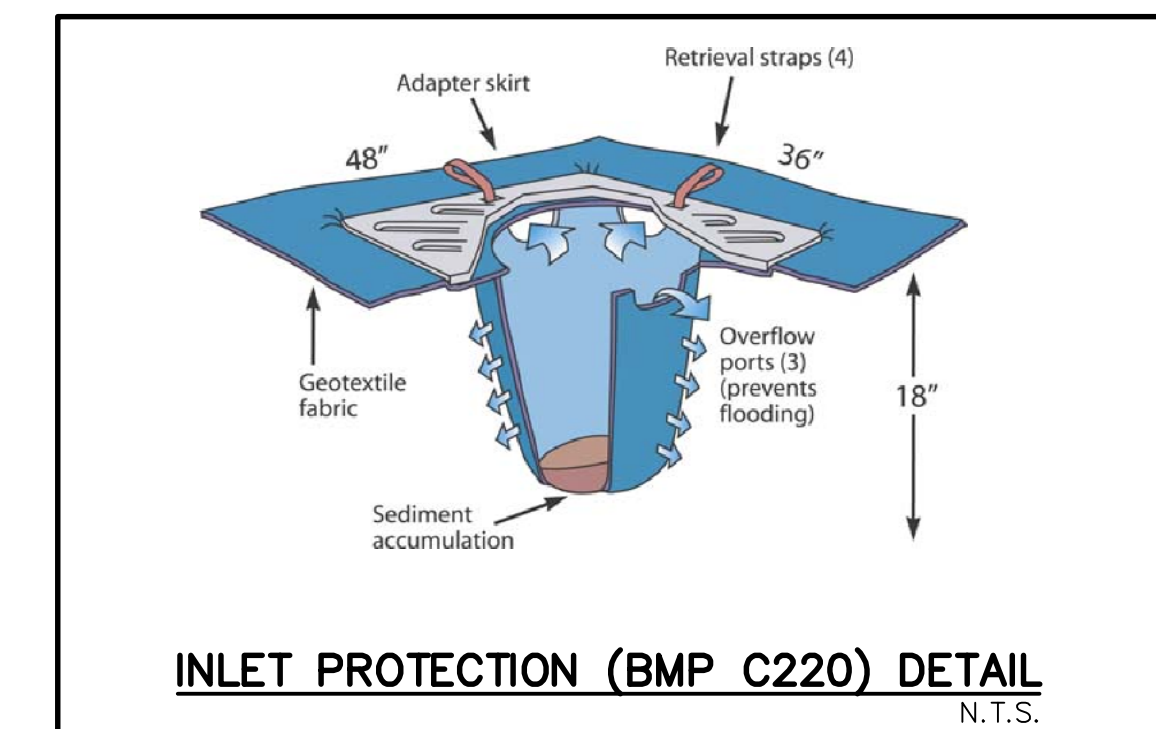
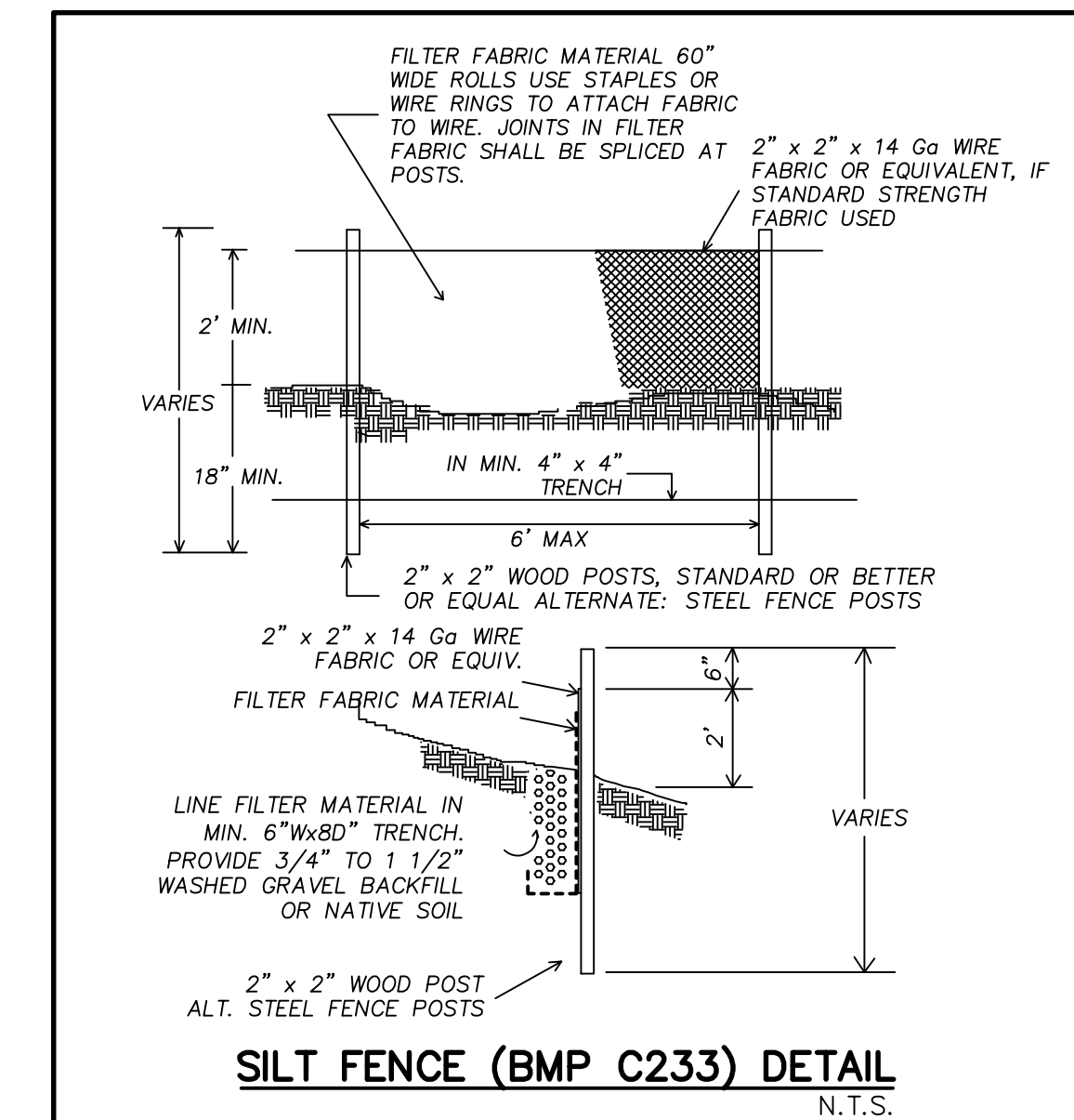
STANDARD BMP NOTES

- Silt Fence Notes**
- Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6-inch overlap, and securely fastened to both ends to post.
 - Posts shall be spaced a maximum of 6 feet apart and driven securely into the ground (minimum of 18 inches).
 - A trench shall be excavated approximately 8 inches wide and 12 inches deep along the line of posts and upslope from the barrier.
 - When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy-duty wire staples at least 1 inch long, tie wires or hog rings. The wire shall extend into the trench a minimum of 4 inches and shall not extend more than 36 inches above the original ground surface.
 - The standard strength filter fabric shall be stapled or wired to the fence, and 20 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
 - When extra-strength filter fabric and closer post spacing is used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of above notes applying.
 - Filter fabric fences shall not be removed before the upslope area has been permanently stabilized.
 - Filter fabric fences shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
- Inlet Protection Notes**
- Catch basin filters should be inspected frequently, especially after storm events. If the insert becomes clogged, it should be cleaned or replaced.
 - Do not wash sediment into storm drains while cleaning. Spread all excavated material evenly over the surrounding land area and stockpile and stabilize as appropriate.

Note: Wrapping or placing a filter fabric strip over or under a catch basin grate is not acceptable.

GENERAL NOTES (EROSION CONTROL)

- Erosion control measures will be in place prior to the beginning of construction. A representative from the city will inspect and approve the erosion control measures prior to the start of construction.
- Erosion control measures are not limited to the items on this plan. The contractor is responsible for the installation and maintenance of all erosion measures, as required under the most recent version of the Chehalis storm water management plan. Care will be taken to prevent migration of silt and/or polluted runoff to off-site properties.
- The contractor will make regular surveillance of all erosion control measures. In addition, erosion control will be thoroughly inspected after each rainfall event. The contractor will make all necessary repairs, modifications, and additions as necessary to ensure the proper operation of the erosion control measures. The city may require more frequent inspections of erosion control measures by the contractor should site or weather conditions dictate.
- During the wet season, November through March, all disturbed soils will be stabilized within 48 hours after land disturbance activities have ceased. Erosion control measures will include, but are not limited to, installation of straw matting, jute matting, straw mulch and/or wood chips, and covering the affected area and spoil piles with plastic sheeting.
- The contractor will check all seeded or sodded areas regularly to ensure that the vegetative cover is being adequately established. Areas will be repaired, reseeded, and fertilized as required.
- Tracking of soil off site will not be allowed. If any soil is tracked beyond the limits of the site, it will be removed before the end of that working day. To prevent additional tracking, vehicle tires must be swept or washed prior to leaving the project site.
- No more than 500 lineal feet (LF) of trench on a downslope of more than five percent will be opened at one time.
- Excavated material will be placed on the uphill side of trenches.
- Excavated material will not be placed in established drainage ditches under any circumstances.
- Trench dewatering devices will be discharged in a manner that will not adversely affect flowing streams, drainage systems, or off-site properties. An established sediment trap will be used as the receiver for all trench dewatering operations.
- All disturbed areas will be seeded or sodded upon completion of work. The contractor will be responsible to ensure that complete coverage of the disturbed areas is provided and that growth of vegetation is established. Seed and sod applications will be conducted in accordance with the timelines noted in the most recent edition of the WSDOT Standard Specifications.
- All erosion control will remain in place until such time as the site is adequately stabilized. Prior to removal of erosion control measures, the engineering division will be notified for final inspection and approval.



NO.	DATE	REVISION
1	1/26/22	ADDED FENCING & GATES

CHEHALIS FOOD BANK EXPANSION
PROJECT • CHEHALIS, WASHINGTON

DETAILS AND NOTES

DESIGNED BY:	CMM
DRAWN BY:	CMM
CHECKED BY:	N.T.S.
SCALE:	N.T.S.
DATE:	12/15/2022

PO Box 12690
Olympia, WA 98508
360.705.2474
www.olympiceng.com

OLYMPIC ENGINEERING

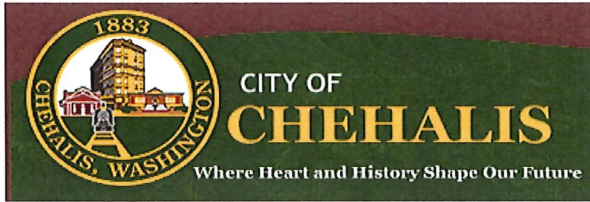
Civil Engineering - Land Planning - Project Management

JOB NUMBER:
22068
DRAWING NAME:
22068_DETL

"CALL UNDERGROUND LOCATE AT 811 BEFORE YOU DIG"



Vicinity map for AC-23-011
750 SW 21st Street
Food Bank



Return your conference application to Community Development Department
 1321 S Market Blvd. Chehalis, WA 98532
 (360) 345-2229
www.ci.chehalis.wa.us email: comdev@ci.chehalis.wa.us

JOB SITE ADDRESS: 72 SW Chehalis Ave

PARCEL #: 003984001000

APPLICANT / CONTACT PERSON:

NAME: Lewis Co Gospel Mission / Roger Shea
 ADDRESS: PO Box 631
 CITY/ST/ZIP: Chehalis, WA 98532
 PHONE#: 360.520.74020
 EMAIL: rogershea808@yahoo.com

CONTRACTOR / ENGINEER / SURVEYOR:


COMPANY NAME: RB Engineering
 CONTACT NAME: Christian Loose, EIT
 ADDRESS: PO Box 923, Chehalis WA 98532
 PHONE #: 360.740.8919
 EMAIL: christianl@rbengineers.com
 CONTRACTORS L&I #: _____

Is the property owner the same as the contact person? Yes No

DETAILED PROJECT DESCRIPTION:

See attached project narrative.

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

<u>Signature:</u> 	<u>Date:</u> 4/13/23
<u>Name (print):</u> Christian Loose, EIT	<u>Telephone #:</u> 360.740.8919

Office use only	
Received by: <u>LF</u>	Date Received: <u>4/13/2023</u>
Parcel #: <u>003984001000</u>	
Permit #: <u>AC-23-011</u>	
Zoning: <u>CG</u>	
Flood Zone: <input checked="" type="radio"/> Yes <input type="radio"/> No	
Zone Classification: <u>A</u>	



DESIGN → PERMIT → MANAGE

April 13, 2023

Tammy Baraconi, Community Development Director
City of Chehalis
tbaraconi@ci.chehalis.wa.us

Re: Lewis County Gospel Mission (LCGM) – LCGM Site Development Project Narrative
RBE NO. 23017

Dear Tammy,

General Project Description

The LCGM is looking at development of the adjacent parcel just south of the existing facility on SW Chehalis Ave. The project would be the construction of a new 2,400 SF two story building with offices on the second floor and thrift store on the bottom floor. A future building would also be constructed on the east side of the lot.

Site

The project is located at 72 SW Chehalis Ave, Chehalis WA. The city lot is 0.46 acres in size and doesn't include any buildings onsite.

Access & Streets

The site is bordered by SW Chehalis Ave on the west, SW John St. on the south and SW Pacific Ave on the East side. Access to the new proposed parking lot would be off SW John St. with internal access to the existing alley. Frontage improvements would include new curb, gutter and sidewalk along Lot A of the proposed short plat.

Water and Sewer Services

The lot has an existing water and sewer service from the old house that was located onsite. A new second water and service would be added if needed for the second future building and lot development.

Stormwater Facilities

Stormwater would be designed to meet the 2019 Stormwater Manual.

Critical Areas & Environmental Review

No wetland areas are present on the site however the entire property is within the 100-year flood plain. The new buildings would include flood proofing and no fill would be imported to raise the structures.

We look forward to meeting with the DRC to discuss the project permitting and development requirements.

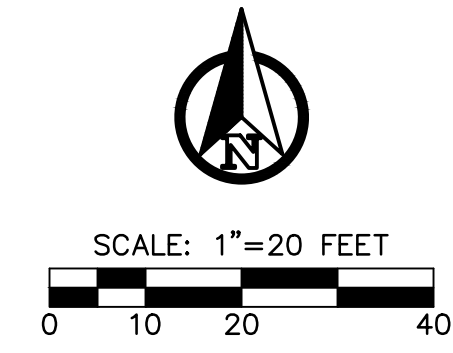
Sincerely,

A handwritten signature in black ink, appearing to read 'C Loose'.

Christian Loose, EIT
Project Engineer

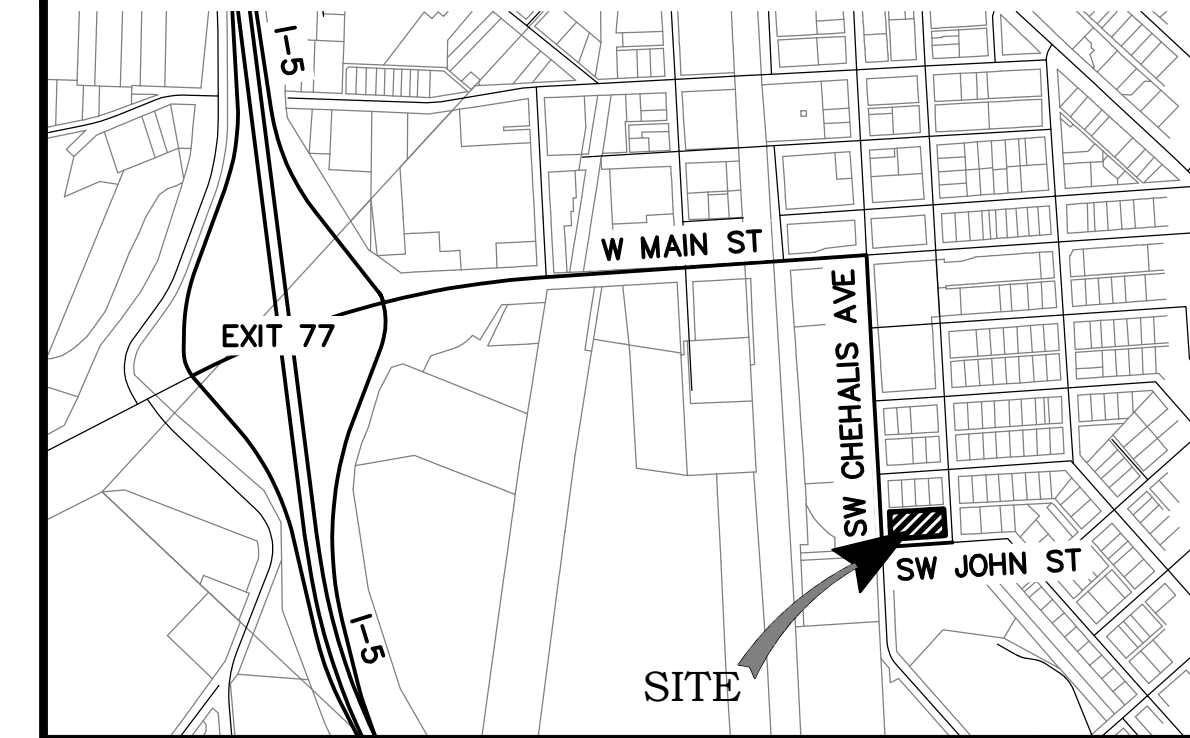
LCGM SITE DEVELOPMENT

SECTION 32, TOWNSHIP 14 NORTH, RANGE 02 WEST, W.M.
LEWIS COUNTY, WASHINGTON



VICINITY MAP

N.T.S.



PROJECT INFORMATION

APPLICANT: ROGER SHEA
PO BOX 631
CHEHALIS, WA 98532
(360) 520-7420
ROGERSHEA808@YAHOO.COM

PARCEL NOS: 003984001000

SITE ADDRESS: 72 SW CHEHALIS AVE
CHEHALIS, WA 98532

ZONING: CG - GENERAL COMMERCIAL

SITE AREA: 0.46

SOILS: LACAMAS SILT LOAM

SANITARY SEWER: PROPOSED CITY

WATER: PROPOSED CITY

FIRE DISTRICT: CITY OF CHEHALIS

LEGEND

EXISTING	PROPOSED	
— W —	— W —	WATER MAIN
— SS —	— SS —	SANITARY SEWER MAIN
— FM —	— FM —	FORCE MAIN
— SD —	— SD —	STORM MAIN
— RD —	— RD —	ROOF DRAIN
	— FD —	FOOTING DRAIN
— G —	— G —	GAS LINE
— UGP —	— UGP —	POWER LINE
— T —	— T —	TELEPHONE LINE
— TV —	— CATV —	CABLE TV LINE
— — — — —	— — — — —	ROADWAY CENTERLINE
— — — — —	— — — — —	RIGHT-OF-WAY LINE
— — — — —	— — — — —	EASEMENT LINE
— — — — —	— — — — —	FRONT/BACK OF CURB
— — — — —	— — — — —	EDGE OF GRAVEL SHOULDER
— — — — —	— — — — —	EDGE OF PAVEMENT

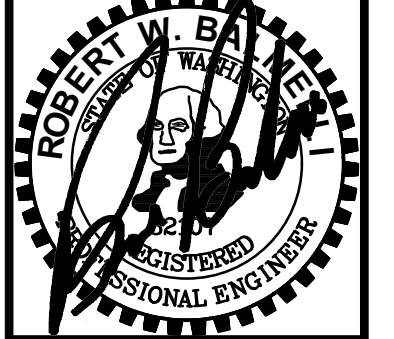


NO.	DATE	REVISION

DESIGNED BY: CGL
DRAWN BY: CGL
CHECKED BY: RWB
DATE: 4/12/23
SCALE: 1" = 20'

LCGM SITE DEVELOPMENT
WA.
CHEHALIS

PRELIMINARY SITE PLAN



RB Engineering
DESIGN → PERMIT → MANAGE
P.O. Box 923
CHEHALIS, WA 98532
OFF: (360) 740-8819
EMAIL: CivPro@RBEng.com

811 Know what's below. Call 811 before you dig.

JOB NUMBER: 23017
DRAWING NAME: 23017_PO.1_PSP
P0.1
1 OF 1