

# Development Review Committee Agenda

Chehalis Building and Planning Department

June 22, 2022, at 9 A.M.

Meeting Location: Chehalis Airport Conference Room

**9:00 AM**

**Applicant Conference:**

**AC-22-015; 91 SW Chehalis Ave.** Thorbeckes with JSA Civil is proposing a building expansion project to add a 14,400 sq. ft. addition to the existing facility for an indoor-sports area. Lewis County Parcel #005274004001. Zoned IL/CG and within the 100-year floodplain and an existing Superfund site. A commercial recreation facility is a permitted use in the CG zone, but conditional in the IL zone.

**9:30 AM**

**Site Plan Review:**

**ST-22-0005; 0 Exhibitor Rd.** Fuller Designs is proposing to build a 46-stall RV park with a central washroom facility for temporary RV habitation. The site is within the Chehalis CG, General Commercial zone. Recreational Vehicle Parks are a permitted use in this zone. This parcel is also fully in the 100-year floodplain, and partially within the floodway. Parcel # 005605080007.

**10:00 AM**

**Site Plan Review:**

**ST-22-0002; NW Louisiana Ave.** RB Engineering is proposing a new Honda dealership along I5 including sales and service departments. The area is zoned CG. Motor vehicle sales and repair are permitted uses in this zone. This parcel is in the 100-year floodplain. Parcel #005605082009

**10:30 AM**

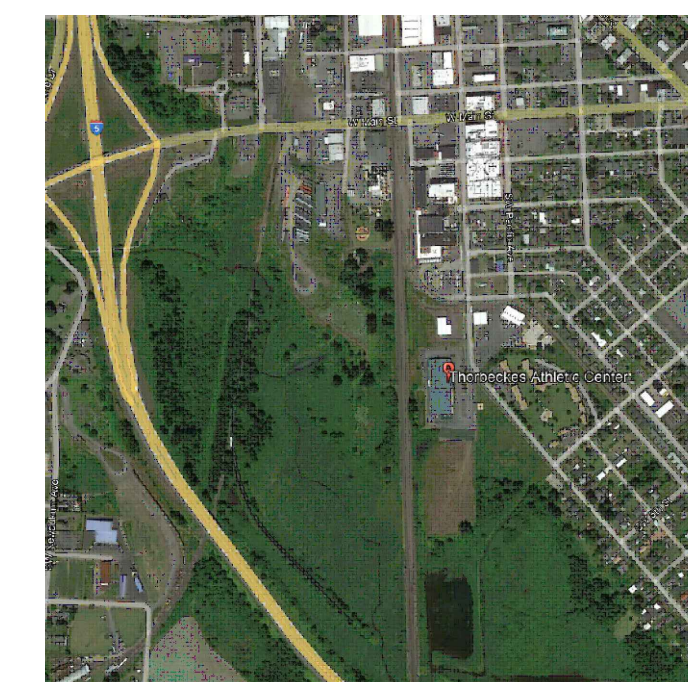
**1. Interdepartmental meeting**

Join Zoom Meeting

<https://us06web.zoom.us/j/9484862389>



# Vicinity Map for AC-22-015



VICINITY MAP (NTS)

**SITE DATA**

|                   |               |
|-------------------|---------------|
| TIPN              | 005274004001  |
| PARCEL AREA       | ± 4.05 ACRES  |
| EX BUILDING SIZE  | ± 330' x 120' |
| PRO BUILDING SIZE | 120' x 120'   |

**PARKING DATA**

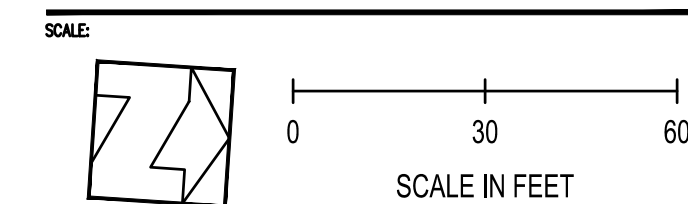
| TYPE                       | TOTAL        | ADA      |
|----------------------------|--------------|----------|
| AUTOMOBILE (CHANNELIZED)   | 106          | 5        |
| AUTOMOBILE (UNCHANNELIZED) | ± 46         |          |
| <b>TOTAL PARKING</b>       | <b>± 152</b> | <b>5</b> |

| REV. | DATE     | COMMENT           | BY  |
|------|----------|-------------------|-----|
| 0    | 05/27/22 | ISSUED FOR REVIEW | BLJ |
|      |          |                   |     |
|      |          |                   |     |
|      |          |                   |     |

DRAWN BY: L. SATER  
 CHECKED BY: B. JOHNSON

SEA:

**PRELIMINARY**



**CHEHALIS  
 THORBECKES  
 EXPANSION**

SHEET TITLE:  
**CONCEPTUAL SITE PLAN**

SHEET NO.  
**SP-01**



## Technical Memorandum

**To:** City of Chehalis  
**From:** Nick Wheeler  
**Date:** June 10, 2022  
**Subject:** Pre-Application Narrative  
**Project:** Chehalis Thorbeckes Expansion

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City of Chehalis Staff,

Please accept this project narrative for the proposed Chehalis Thorbeckes Expansion project, located at 91 SW Chehalis Avenue, on Lewis County TPN 005274004001. The project proposes to construct a new +/- 14,400 square foot building expansion along the south end of the existing Thorbeckes facility. The following memorandum has been prepared in support of the project and is intended to provide an overall summary of the existing on-site conditions and improvements that are proposed.

### ***Existing Conditions***

The project site is located at 91 SW Chehalis Avenue on Lewis County TPN 005274004001 in the City of Chehalis. The overall site area is approximately 4.05 acres, and with an existing +/- 56,121 square foot commercial building used as an athletic center. Existing site improvements include an on-site parking lot and storm pond facility. Access to the facility is provided by a single, full-access driveway off SW Chehalis Avenue.

### ***Proposed Development and Zoning***

The site is currently zoned IL/CG – Light Industrial & General Commercial by the City of Chehalis. The project proposes to construct a building expansion along the south end of the existing commercial structure, approximately 14,400 square feet in size, for use as a multi-purpose indoor sports facility. An access sidewalk is proposed along the northern and eastern walls of the new building area. The existing fire access lane along the southern and western perimeter of the building will be rerouted to accommodate the expanded building footprint. Based on the preliminary site plan, approximately 3 parking stalls will be eliminated by the project to allow revisions to the fire lane.

### ***Soil and Groundwater***

The project is located within the limits of an EPA Superfund Site, as the American Crossarm and Conduit Co.'s (ACC) wood cutting, milling, and treating facility was previously located on the site. Per available Department of Ecology (Ecology) records, the Thorbeckes facility is in the former location of ACC's millworks building. Cleanup at the site was completed by the EPA and the site is now being monitored. A No Further Action (NFA) Letter has not been issued for the cleanup activities.

Based on information provided in [the Fifth Five-Year Review Report for American Crossarm & Conduit Co. Superfund Site Lewis County, Washington](#) (Report), dated September 17, 2019, the ACC facilities were demolished and removed from the site and the most highly-contaminated surface and subsurface soils were excavated and hauled off-site for disposal. Per page 10 of the Report, during remediation of the site, the most contaminated areas were excavated to a depth of 10-feet, backfilled, and a clean soil cap with a geomembrane was placed above the excavated areas. In addition to the soil cap, 6-8 feet of import fill was placed throughout the Thorbeckes parcel to raise the facility out of the 100-year floodplain.

The proposed building expansion will be an industrial shell structure with a concrete slab-on-grade floor. Construction will mimic the existing Thorbeckes facility, with excavation anticipated to be approximately 5 feet deep for construction of the building foundation. Based on the depth of fill and type of building construction proposed, we do not anticipate soil disturbances to a depth far enough to disturb the geomembrane and/or protective soil cap placed over the ACC site.

***Utilities***

The wet and dry utility connections currently serving the facility will remain in place. No additional service connections are proposed at this time. Utilities will be expanded within the site to serve the additional building area.

***Traffic Access and Parking***

The existing access driveway from SW Chehalis Avenue will remain in place. Minor revisions to the current parking facility are proposed to accommodate the expanded building footprint. The fire access lane along the southern and western perimeter of the building will be rerouted further south to accommodate the expanded building footprint. Based on the preliminary site plan, approximately 3 parking stalls will be eliminated by the project to allow revisions to the fire lane.

Thank you for accepting this project narrative for the proposed Chehalis Thorbeckes Expansion project. Please contact me with any questions or comments.

Respectfully,



Nick Wheeler

JSA Civil, LLC

[nick.wheeler@jsa-civil.com](mailto:nick.wheeler@jsa-civil.com)

## Current Protective Covenant (Environmental Deed Restriction)

As a part of institutional controls on the former site, a protective covenant was filed and recorded in 1997 with Lewis County Auditor's Office (Administrative Order on Consent for Use and Maintenance for the Site, EPA Docket No. 10-97-1036 CERCLA). The 1997 Protective Covenant refers to an original parcel number, 5274-001-000. That parcel has since been subdivided into the three parcels highlighted in Figure 2 of Appendix A. In August 2019, EPA confirmed (as referenced in the fifth periodic review) with the Lewis County Auditor's Office that the Protective Covenant applies to all three parcels in Table 1.

The protective covenant was signed by Darrel and Judy Anderson in 1997. The 2020 Tax Assessor's information lists Darrel Anderson as an owner.

The protective covenant restriction on the site are:

1. Prohibition on Groundwater Wells. In order to prevent public exposure to potentially contaminated groundwater beneath the site, there shall be no groundwater wells installed or used on the above described real property.
2. Prohibition on Zoning Change to Residential or Agricultural Use. The cleanup of hazardous substances by EPA was performed in anticipation of the site being used solely for commercial or industrial purposes, and not for residential or agricultural use. Any change in use could result in an increased risk to the public and, therefore, the above described real property, nor any part thereof shall be re-zoned to either residential or agricultural use, nor shall such uses be allowed.
3. Prohibition on Intrusive Activities below Ground. As part of the cleanup undertaken by EPA, there has been placed upon the ground a layer of soil materials, or a "CAP," to help protection of the public from contact with any contaminants which may remain below the surface of the site. There shall be no intrusive activities beneath the surface of the cap, including any subsurface excavation/digging or maintenance and repair of utilities, without the prior express approval from the Department of Ecology. Ecology will review the request for the ground disturbance activities and approve or request more information or disapprove the request. Upon making a final decision on the "CAP" requested by the property owner, a copy of the final decision will be mailed to EPA, Region 10 for their file by Ecology.
4. The protective covenant run with the land, therefore, in case of a property transfer, the new owner will be responsible to comply with all the requirements of the protective covenant.
5. Before the property transfer, the current owner will inform Ecology of such a sale 30 days before the property transfer. Ecology will inform EPA of such a decision by email or a letter.

A copy of the protective covenant is in Appendix C.



# Vicinity Map for SEPA-22-001

**PROJECT INFORMATION:**

APPLICANT: HICKS, KEVIN & MELODY  
PO BOX 500  
RAINIER, WA 98576

SITE ADDRESS: 0 EXHIBITOR RD  
CHEHALIS, WA 98532

PARCEL NUMBER: 005605080007

ZONING (CITY): CG - GENERAL COMMERCIAL

LOTS : 1 EXISTING 1 PROPOSED

SITE SOILS: REED SILTY CLAY LOAM & XERORTHENTS, SPOILS

WATER: CITY OF CHEHALIS

SANITARY SEWER: CITY OF CHEHALIS

GRADING: +/- 495 CY (CUT)

PARKING STALLS: 10'x20' (TYP 46), 10'x40' (TYP 46)

**SURVEY INFORMATION:**

**BASIS OF BEARING**

RECORD OF SURVEY RECORDED UNDER LEWIS COUNTY AUDITOR'S FILE NO. 3475708.

**BASIS OF ELEVATION**

NAVD 88: HOLDING PUBLISHED WSDOT CONTROL POINT NO. 4092, DESIGNATION L 532, AT AN ELEVATION OF 175.105 USFT.

**GEOTECHNICAL INFORMATION:**

A GEOTECHNICAL REPORT WAS PREPARED BY QUALITY GEO.

**TOPOGRAPHIC INFORMATION:**

TOPOGRAPHIC INFORMATION DEPICTED IN THESE DRAWINGS WAS PROVIDED BY GOODMAN LAND SURVEY.

**LEGEND**

| LINETYPES | EXISTING | PROPOSED | DESC.                         |
|-----------|----------|----------|-------------------------------|
|           | ---      | ---      | BUILDING FOOTPRINT            |
|           | ---      | ---      | BUILDING SETBACK              |
|           | XX       | XX       | CONTOUR LINE (MAJOR)          |
|           | XX       | XX       | CONTOUR LINE (MINOR)          |
|           | GB       | GB       | GRADE BREAK                   |
|           | ---      | ---      | CULVERT                       |
|           | ---      | ---      | EASEMENT                      |
|           | ---      | ---      | EDGE OF PAVEMENT              |
|           | ---      | ---      | EDGE OF GRAVEL                |
|           | -X       | -X       | FENCE                         |
|           | FM       | FM       | FORCE MAIN                    |
|           | G        | G        | GAS MAIN                      |
|           | ---      | ---      | LOT LINE                      |
|           | ---      | ---      | PROJECT BOUNDARY              |
|           | ---      | ---      | RIGHT-OF-WAY                  |
|           | ---      | ---      | ROAD CENTERLINE               |
|           | SS       | SS       | SANITARY SEWER PIPE           |
|           | ST       | ST       | STORM PIPE                    |
|           | ---      | ---      | SIDEWALK                      |
|           | SF       | SF       | SILT FENCE                    |
|           | UE       | UE       | UNDERGROUND ELECTRIC          |
|           | OE       | OE       | OVERHEAD ELECTRIC             |
|           | OT       | OT       | TELECOMMUNICATION             |
|           | W        | W        | WATER                         |
|           | ---      | ---      | LANDSCAPE                     |
|           | ---      | ---      | DITCH                         |
|           | ---      | ---      | ROAD CUT LINE                 |
|           | ---      | ---      | WETLAND BOUNDARY LINE         |
|           | ---      | ---      | ENHANCED BUFFER BOUNDARY LINE |

| HATCH | EXISTING  | PROPOSED  | DESC.                  |
|-------|-----------|-----------|------------------------|
|       | [Pattern] | [Pattern] | AC PAVEMENT            |
|       | [Pattern] | [Pattern] | GRAVEL                 |
|       | [Pattern] | [Pattern] | CONCRETE               |
|       | [Pattern] | [Pattern] | LANDSCAPE / GRASS AREA |

**ABBREVIATIONS:**

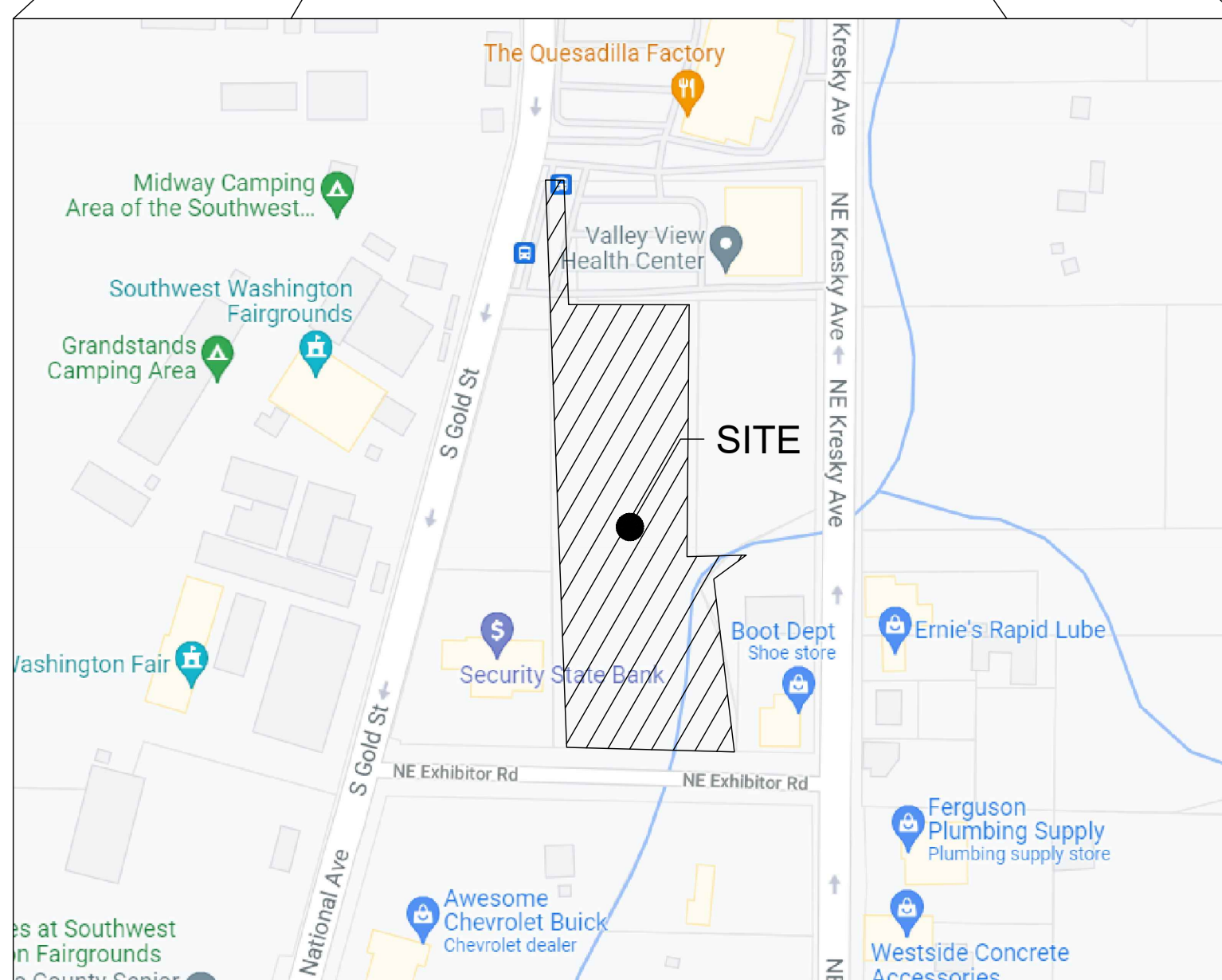
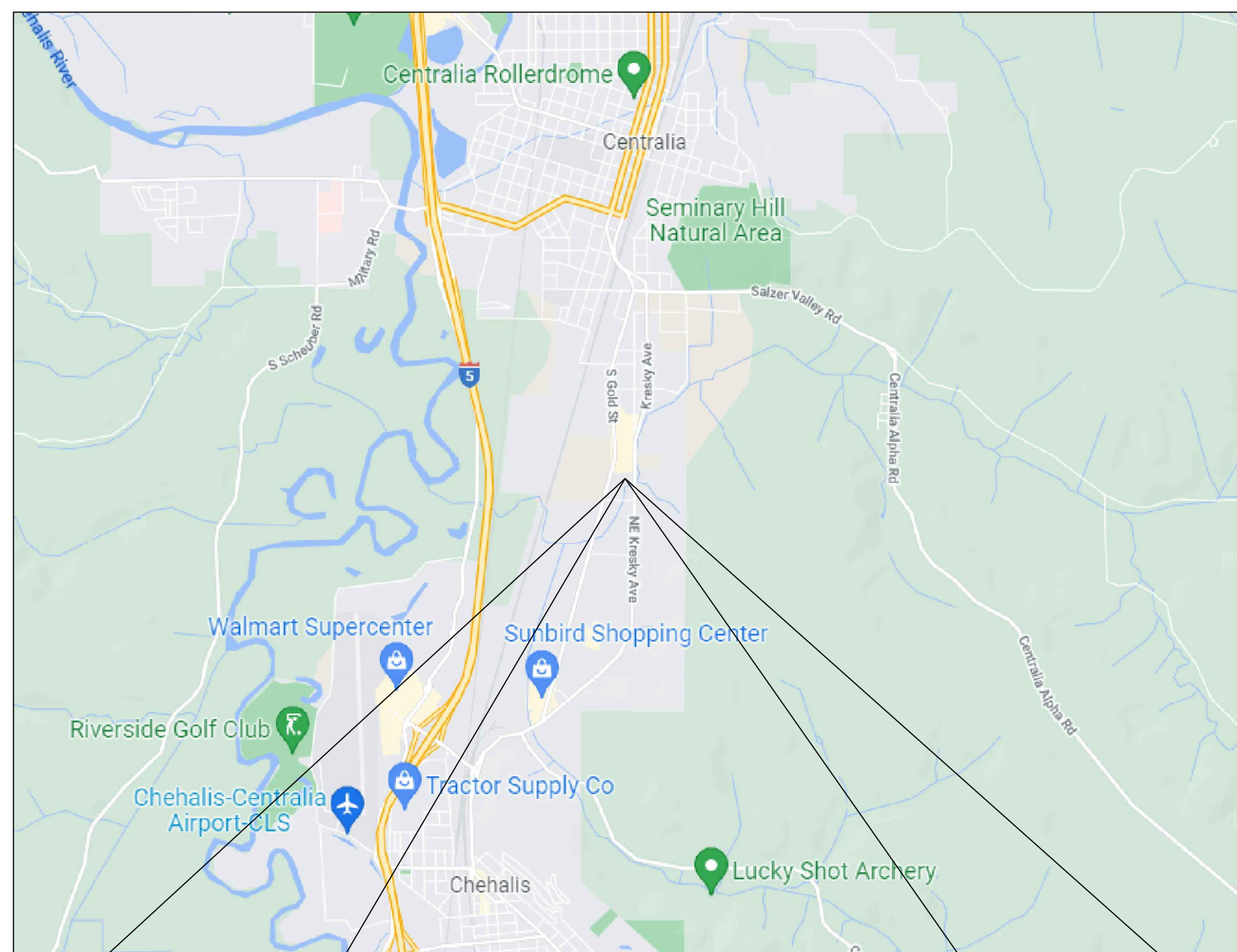
|      |  |
|------|--|
| AC   | ASPHALT CONCRETE                       |
| BCR  | BEGIN CURB RETURN                      |
| BM   | BENCHMARK                              |
| BVCS | BEGIN VERTICAL CURVE STATION           |
| BCVE | BEGIN VERTICAL CURVE ELEVATION         |
| BLDG | BUILDING                               |
| CATV | CABLE TELEVISION                       |
| CB   | CATCH BASIN                            |
| CL   | CENTERLINE                             |
| CMP  | CORRUGATED METAL PIPE                  |
| CO   | CLEAN OUT                              |
| CY   | CUBIC YARD                             |
| °    | DEGREES                                |
| Ø    | DIAMETER                               |
| EE   | ELECTRICAL                             |
| ECR  | END CURB RETURN                        |
| EL   | ELEVATION                              |
| EOP  | EDGE OF PAVEMENT                       |
| EVCS | END VERTICAL CURVE STATION             |
| EVCE | END VERTICAL CURVE ELEVATION           |
| EX   | EXISTING                               |
| FF   | FINISH FLOOR                           |
| FG   | FINISH GRADE                           |
| FH   | FIRE HYDRANT                           |
| FL   | FLOW LINE                              |
| FM   | FORCE MAIN                             |
| G    | GAS                                    |
| GB   | GRADE BREAK                            |
| GM   | GAS METER                              |
| GV   | GATE VALVE                             |
| HDPE | HIGH DENSITY POLYETHYLENE              |
| HP   | HIGH POINT                             |
| IE   | INVERT ELEVATION                       |
| K    | CALCULATED CURVE VALUE                 |
| L    | LENGTH                                 |
| LCV  | LENGTH VERTICAL CURVE                  |
| LF   | LINEAR FEET                            |
| LT   | LEFT                                   |
| M    | METER                                  |
| MH   | MAN HOLE                               |
| MJ   | MECHANICAL JOINT                       |
| NAP  | NOT A PART OF PROJECT                  |
| NFC  | NOT FOR CONSTRUCTION                   |
| OHP  | OVER HEAD POWER                        |
| P    | POWER                                  |
| PC   | POINT OF CURVATURE                     |
| PI   | POINT OF INTERSECTION                  |
| PL   | PROPERTY LINE                          |
| POB  | POINT OF BEGINNING                     |
| POC  | POINT OF CONNECTION                    |
| PRC  | POINT OF REVERSE CURVATURE             |
| PT   | POINT OF TANGENCY                      |
| PVC  | POLY-VINYL CHLORIDE                    |
| R    | RADIUS                                 |
| RCP  | REINFORCED CONCRETE PIPE               |
| RD   | ROOF DRAIN                             |
| RFC  | RELEASED FOR CONSTRUCTION              |
| ROW  | RIGHT OF WAY                           |
| RPBA | REDUCED PRESSURE BACKFLOW ASSEMBLY     |
| RT   | RIGHT                                  |
| S    | SLOPE                                  |
| SF   | SQUARE FOOT                            |
| SD   | STORM DRAIN                            |
| SS   | SANITARY SEWER                         |
| ST   | STORM                                  |
| STA  | STATION                                |
| SW   | SIDEWALK                               |
| T    | TELEPHONE                              |
| TB   | TRUST BLOCK                            |
| TC   | TOP OF CURB/CONCRETE                   |
| TESC | TEMPORARY EROSION AND SEDIMENT CONTROL |
| TG   | TOP OF GRATE                           |
| TYP  | TYPICAL                                |
| UGP  | UNDERGROUND POWER                      |
| W    | WATER                                  |
| WM   | WATER METER                            |
| WV   | WATER VALVE                            |
| ±    | APPROXIMATELY                          |
| %    | PERCENT                                |
| Δ    | DELTA                                  |

| SYMBOLS  | EXISTING | PROPOSED | DESC.                    |
|----------|----------|----------|--------------------------|
| [Symbol] | [Symbol] | [Symbol] | CATCH BASIN              |
| [Symbol] | [Symbol] | [Symbol] | ELECTRICAL BOX           |
| [Symbol] | [Symbol] | [Symbol] | FIRE HYDRANT             |
| [Symbol] | [Symbol] | [Symbol] | SANITARY SEWER CLEAN OUT |
| [Symbol] | [Symbol] | [Symbol] | ILLUMINARE & POLE        |
| [Symbol] | [Symbol] | [Symbol] | JUNCTION BOX             |
| [Symbol] | [Symbol] | [Symbol] | PIG PORT                 |
| [Symbol] | [Symbol] | [Symbol] | SANITARY SEWER MANHOLE   |
| [Symbol] | [Symbol] | [Symbol] | STORM MANHOLE            |
| [Symbol] | [Symbol] | [Symbol] | SERVICE DISCONNECT       |
| [Symbol] | [Symbol] | [Symbol] | SPOT ELEVATION           |
| [Symbol] | [Symbol] | [Symbol] | SURFACE FLOW             |
| [Symbol] | [Symbol] | [Symbol] | GAS VALVE                |
| [Symbol] | [Symbol] | [Symbol] | TREE                     |
| [Symbol] | [Symbol] | [Symbol] | UTILITY POLE             |
| [Symbol] | [Symbol] | [Symbol] | STREET SIGN              |
| [Symbol] | [Symbol] | [Symbol] | WATER METER              |
| [Symbol] | [Symbol] | [Symbol] | WATER PIPE BEND          |
| [Symbol] | [Symbol] | [Symbol] | WATER VALVE              |
| [Symbol] | [Symbol] | [Symbol] | WATER MANHOLE            |

# HICKS RV PARK

SECTION 17 TOWNSHIP 14N RANGE 02W  
CITY OF CHEHALIS  
WASHINGTON

**VICINITY MAP**



**DRAWING CONTENTS:**

- C0.1 - CIVIL COVER
- C1.1 - OVERALL SITE & TESC PLAN
- C2.1 - PROPOSED LAYOUT PLAN
- C3.1 - STORM DRAINAGE PLAN
- C4.1 - UTILITY PLAN

**PRELIMINARY  
FOR PERMIT ONLY**



**PROJECT SPECIFICATIONS:**

THE WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, 2020 WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER "STANDARD SPECIFICATIONS").

ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:

- A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- B. CITY ROAD STANDARDS
- C. CITY DRAINAGE STANDARDS
- D. THE INTERNATIONAL BUILDING CODE (IBC)

CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH EXIST ON THE DATE OF CONTRACT ACCEPTANCE.

CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATION AT CONTRACTOR'S OWN EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS. ONCE WORK IS COMPLETED CONTRACTOR SHALL OBTAIN ACCEPTANCE BY THE COUNTY AND PROJECT ENGINEER.

THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE PROJECT. OMISSIONS FROM THE DRAWINGS OF DETAIL OF WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE OMITTED WORK.

ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.

**WORK IN RIGHT OF WAY:**  
CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO COMMENCING ANY WORK LOCATED IN RIGHT OF WAY. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS, STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE RIGHT OF WAY PERMIT.

**RECORD DRAWINGS:**  
FULLER DESIGNS IS REQUIRED BY THE CITY TO PROVIDE RECORD DRAWING CERTIFICATION PRIOR TO FINAL CITY ACCEPTANCE. FULLER DESIGNS WILL NOT CERTIFY RECORD DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY FULLER DESIGNS OF NECESSARY INSPECTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ENGINEER OR INSPECTOR OF INCONSISTENCIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ONE SET OF THE CONTRACT DRAWINGS THAT SHALL INCLUDE: ANY ALTERATIONS OR LOCATION OF UNDERGROUND UTILITIES ENCOUNTERED DURING THE PROGRESS OF THE PROJECT, ANY ALTERATIONS MADE TO THE IMPROVEMENTS BEING INSTALLED. MARKED DRAWINGS SHALL BE CLEAR AND LEGIBLE. DRAWINGS SHALL BE MARKED "RECORD DRAWINGS" AND SHALL BE SUBMITTED TO THE ENGINEER UPON PROJECT COMPLETION.

**CONTRACTOR LIABILITY NOTE:**  
CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY THROUGHOUT PROJECT EXECUTION AND NOT BE LIMITED TO WORKING HOURS. CONTRACTOR SHALL PROGRESS WORK IN A MANNER THAT SHALL INDEMNIFY AND HOLD FULLER DESIGNS HARMLESS FROM ALL LIABILITY IN CONNECTION WITH CONTRACTOR'S PERFORMED WORK.

**REMOVAL OF UNSUITABLE MATERIALS:**  
IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR INSPECTOR AND REPLACED WITH SUITABLE MATERIAL.

UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR. PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER SO MEASUREMENT/PAYMENT CAN BE MADE PER TON OF UNSUITABLE MATERIAL REMOVED.

**EROSION CONTROL NOTE:**  
EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE STRUCTURES WILL BE PERMITTED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SOILS TO ADJACENT PROPERTIES. DISTURBED EARTH SHALL BE STABILIZED AS REQUIRED BY THE STANDARD SPECIFICATIONS. INDIVIDUAL DESIGNATED TO MONITOR EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL HAVE CESCL CERTIFICATION.

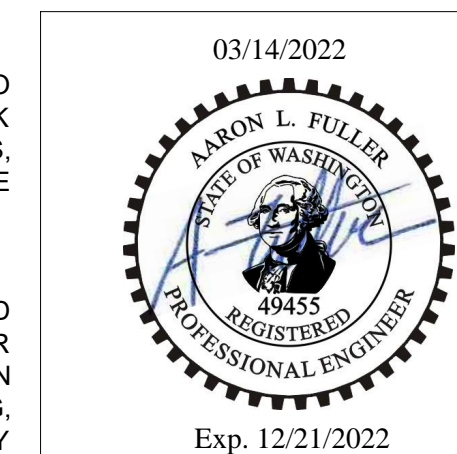
**GENERAL NOTES:**  
CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS AND UTILITY SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.

AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL PRE-CONSTRUCTION STATE OR BETTER UPON COMPLETION OF WORK.

**UTILITIES LOCATE NOTE:**

EXISTING UTILITIES LOCATION SHOWN IN THIS PLAN SET IS BASED ON INFORMATION OBTAINED FROM VARIOUS RECORDS RESEARCH, ASBUILT DATA, AND FIELD MEASUREMENTS. FULLER DESIGNS ASSUMES NO RESPONSIBILITY FOR EXACT LOCATION OF UTILITIES EITHER SHOWN OR NOT SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL VERIFY THE EXACT SIZE, DEPTH, LOCATION, AND ARRANGEMENT OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL UNDERGROUND LOCATE AT 811 PRIOR TO PERFORMING CONSTRUCTIONS ACTIVITIES.

|                                      |        |                      |          |    |
|--------------------------------------|--------|----------------------|----------|----|
| DRAWING TITLE:<br><b>CIVIL COVER</b> | DATE:  | 3/8/22               | CHECKED: | MF |
|                                      | SCALE: | N/A                  | DRAWN:   | SD |
| PROJECT NAME:                        |        | <b>HICKS RV PARK</b> |          |    |



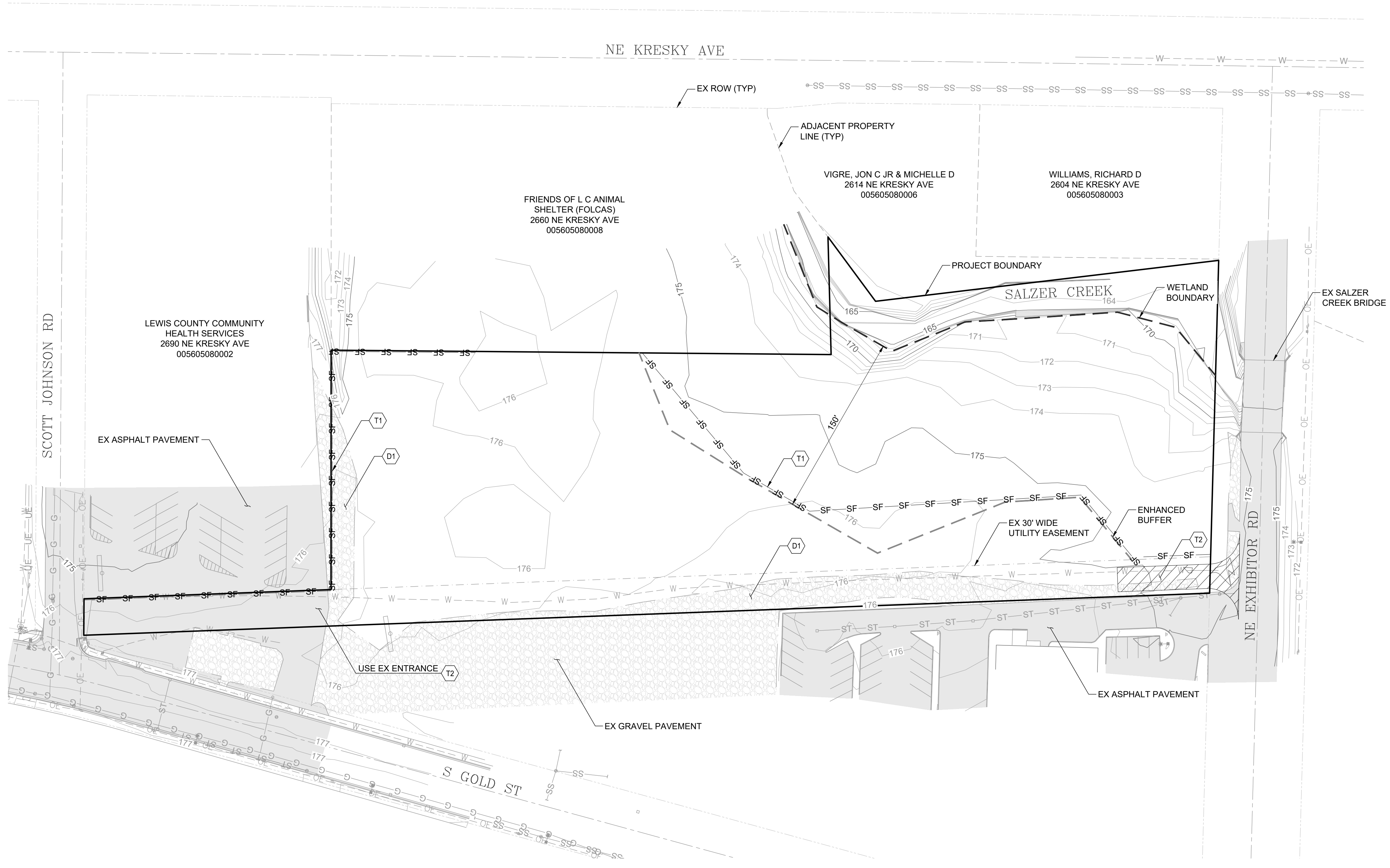
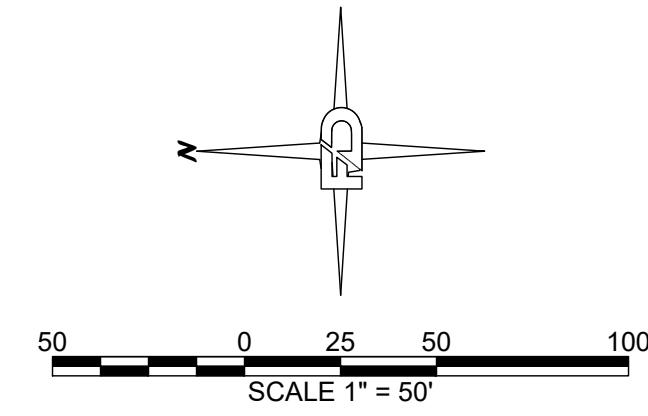
**FULLER DESIGNS**  
1101 KRESKY AVE  
CENTRALIA, WA 98531  
(360) 807-4420

|              |                          |
|--------------|--------------------------|
| DATE:        | 3/8/22                   |
| DESCRIPTION: | PRELIMINARY - FOR PERMIT |
| REV:         | 1                        |

**C0.1**  
1 OF 5



SECTION 17 TOWNSHIP 14N RANGE 02W



**TESC PLAN NOTES:**

- T1 INSTALL SILT FENCE.
- T2 INSTALL 100' CONSTRUCTION ENTRANCE.

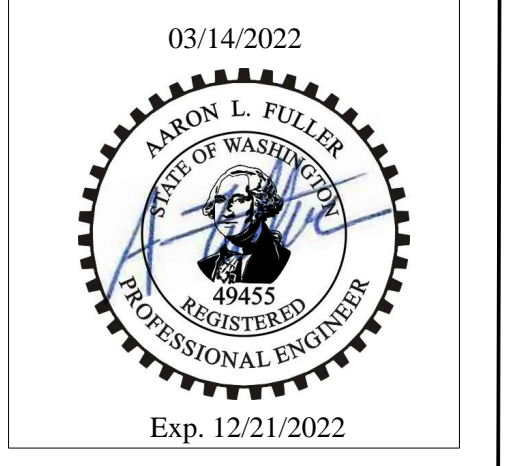
**DEMOLITION NOTES:**

- D1 EX GRAVEL PAVEMENT TO BE REMOVED

**EROSION CONTROL NOTES:**

1. ALL EXPOSED SOIL SURFACES SHALL BE SEEDED WITH AN EROSION CONTROL SEED MIX OR HYDROSEEDED IF NOT WORKED WITHIN 7 CALENDAR DAYS FROM MAY 1 TO SEPTEMBER 30. SOIL SHALL BE COVERED WITHIN 2 DAYS FROM OCTOBER 1 TO APRIL 30.
2. SEEDED AREAS WILL BE COVERED WITH MULCH, HAY OR OTHER PROTECTIVE COVERING APPROVED BY THE ENGINEER TO PREVENT WASHOUT DURING RAIN EVENTS.
3. CONTRACTOR SHALL APPLY WATER TO GRAVEL SURFACES DURING CONSTRUCTION TO MINIMIZE FUGITIVE DUST.
4. ROUTINE INSPECTION AND MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL BMPs, ESPECIALLY AFTER STORMS, IS REQUIRED.
5. PERIODIC STREET CLEANING MAY BE NECESSARY TO REMOVE ANY SEDIMENT TRACKED OFF SITE.
6. IN THE EVENT PROPOSED BMPs FAIL, APPROPRIATE MEASURES MUST BE TAKEN TO STOP SEDIMENTS FROM ENTERING WATERWAYS.

|  |      |               |        |
|--|------|---------------|--------|
| DRAWING TITLE:<br><b>OVERALL &amp; TESC PLAN</b> |      | CHECKED:      | MF     |
|  |      | DRAWN:        | SD     |
| SCALE:   | 1:50 | DATE:         | 3/8/22 |
| PROJECT NAME:                                    |      | HICKS RV PARK |        |



**FULLER DESIGNS**  
 1101 KRESKY AVE  
 CENTRALIA, WA 98531  
 (360) 807-4420

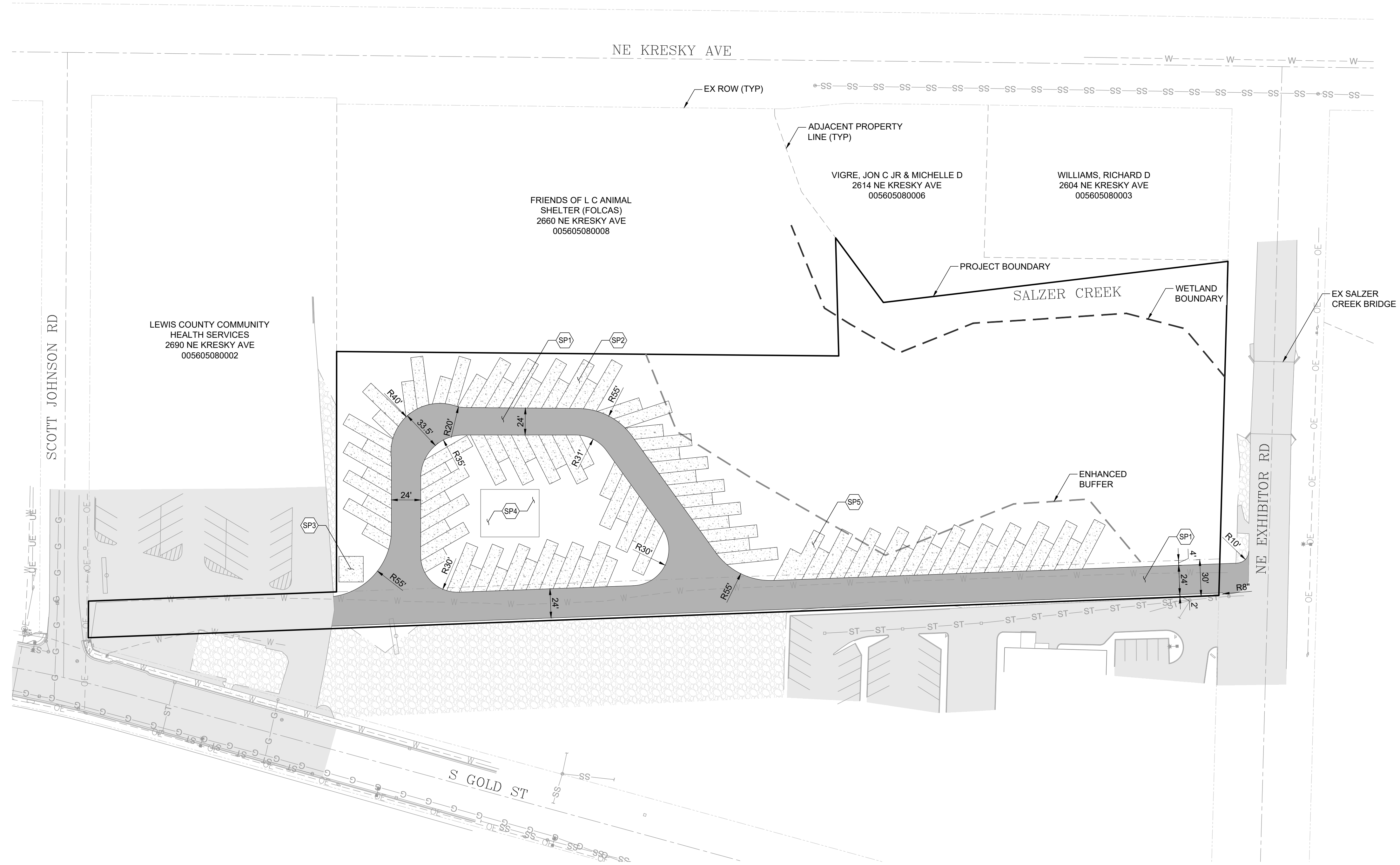
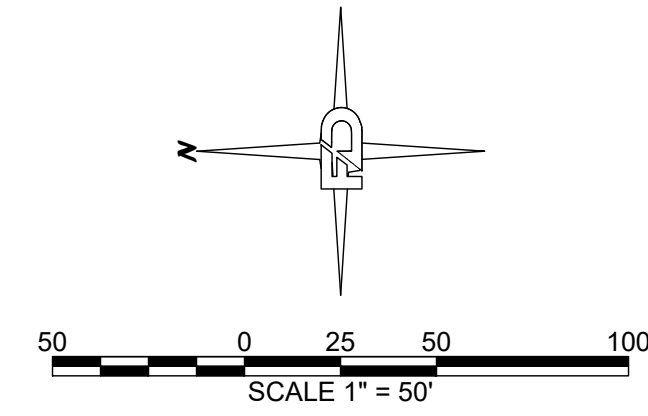
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**PRELIMINARY**  
FOR PERMIT ONLY

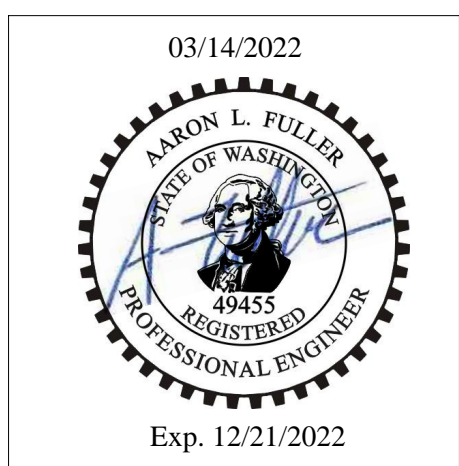
SECTION 17 TOWNSHIP 14N RANGE 02W

SITE PLAN NOTES:

- SP1 INSTALL ASPHALT PAVEMENT DRIVEWAY
- SP2 INSTALL 10'x40' AND 10'x20' RV PARKING STALL (TYP 46)
- SP3 INSTALL 20'x21' GARBAGE AND RECYCLING PAD
- SP4 INSTALL 39'x48' COVERED AREA AND RESTROOM
- SP5 INSTALL PROPANE AND AIR STATION



|                |        |                      |          |
|----------------|--------|----------------------|----------|
| DRAWING TITLE: |        | PROPOSED LAYOUT PLAN |          |
| SCALE:         | DATE:  | DRAWN:               | CHECKED: |
| 1:50           | 3/8/22 | SD                   | MF       |
| PROJECT NAME:  |        | HICKS RV PARK        |          |



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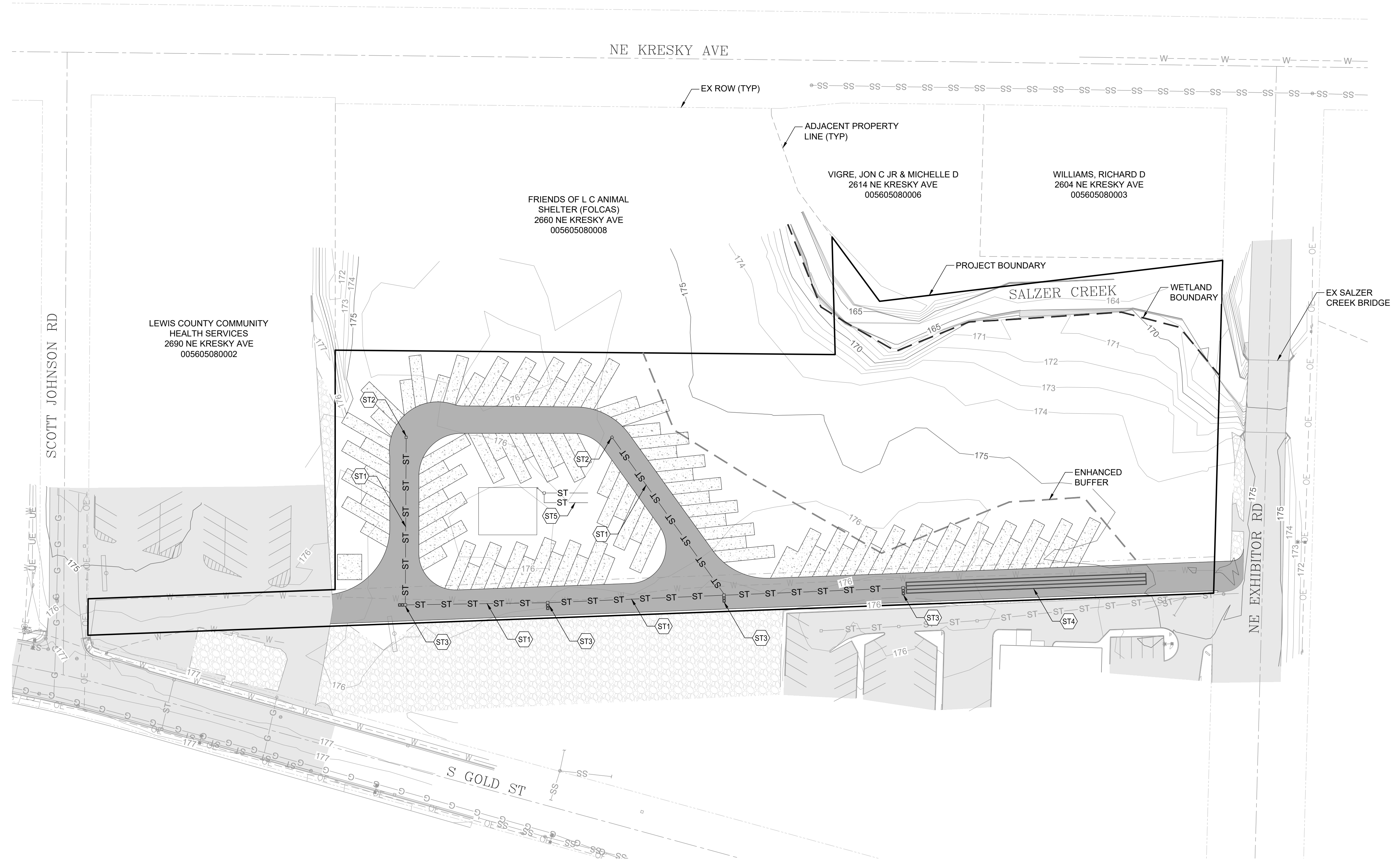
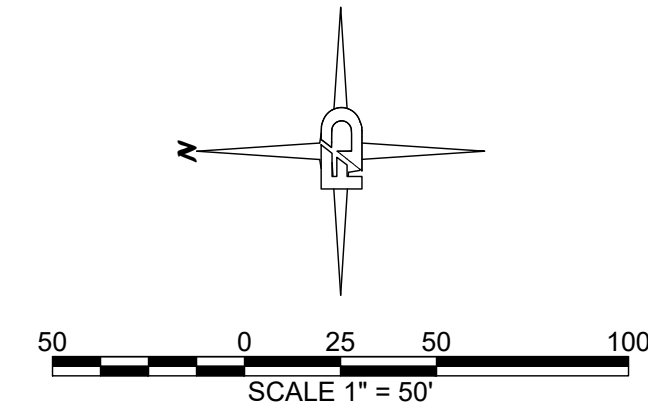
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|------|--------------------------|--------|
| 1    | PRELIMINARY - FOR PERMIT | 3/8/22 |
|      |                          |        |
|      |                          |        |

**PRELIMINARY**  
 FOR PERMIT ONLY

SECTION 17 TOWNSHIP 14N RANGE 02W

STORMWATER NOTES:

- (ST1) INSTALL 12" STORM PIPE
- (ST2) INSTALL CATCH BASIN
- (ST3) INSTALL CB CONTECH 2 CARTRIDGE STORM FILTER
- (ST4) INSTALL (3) 197 LF 30" DIA PIPE INFILTRATION SYSTEM
- (ST5) ROOF INFILTRATION SYSTEM



DRAWING TITLE:  
**SOTRM DRAINAGE PLAN**

|               |        |        |               |
|---------------|--------|--------|---------------|
| SCALE:        | DATE:  | DRAWN: | CHECKED:      |
| 1:50          | 3/8/22 | SD     | MF            |
| PROJECT NAME: |        |        | HICKS RV PARK |



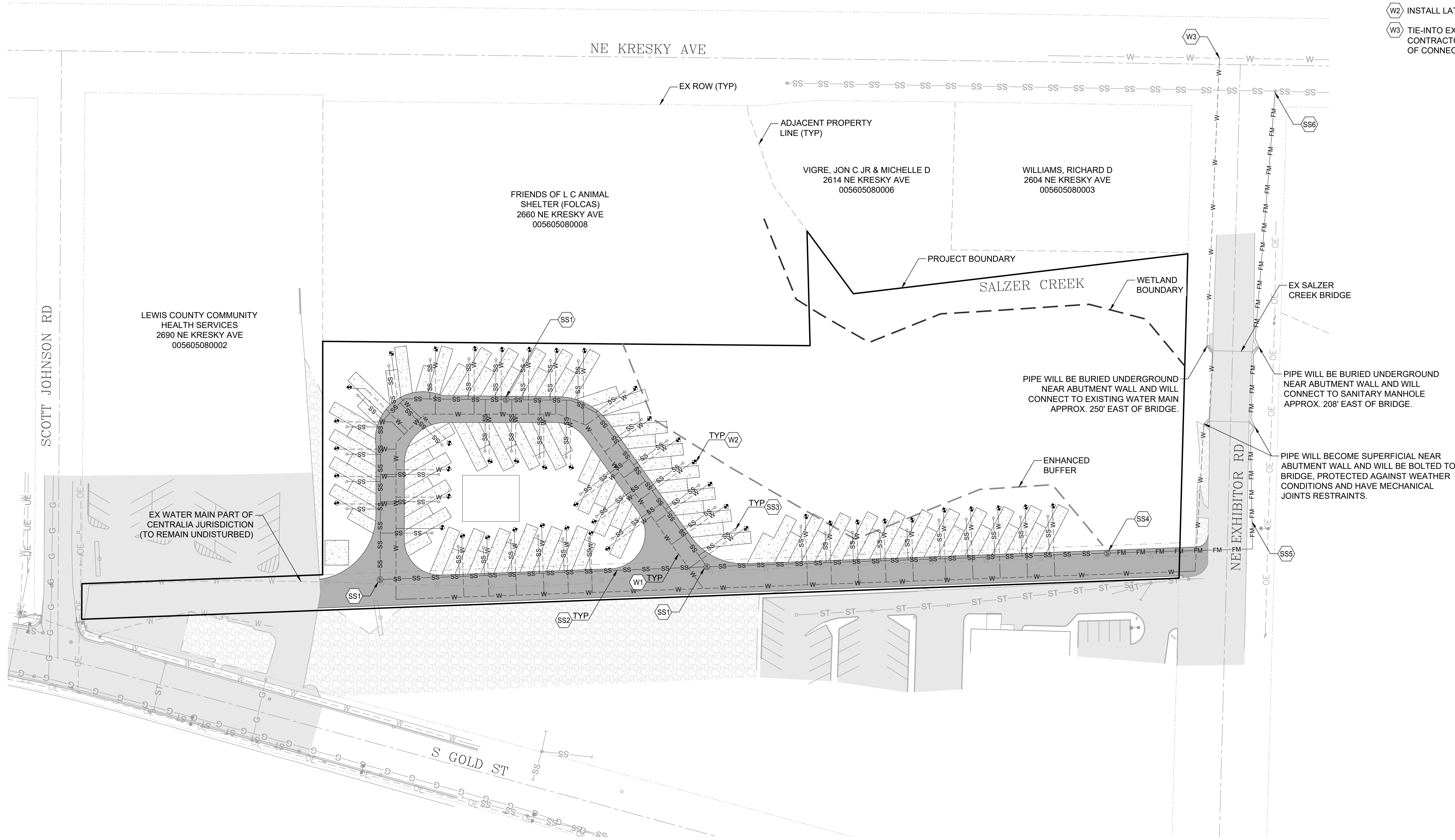
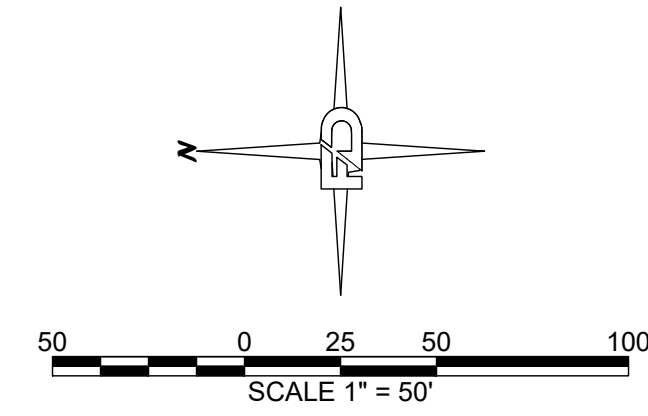
FULLER DESIGNS  
1101 KRESKY AVE  
CENTRALIA, WA 98531  
(360) 807-4420

| REV. | DESCRIPTION:            | DATE:  |
|------|-------------------------|--------|
| 1    | PRELIMINARY- FOR PERMIT | 3/8/22 |
|      |                         |        |
|      |                         |        |

**PRELIMINARY**  
FOR PERMIT ONLY

**C3.1**  
4 OF 5

SECTION 17 TOWNSHIP 14N RANGE 02W



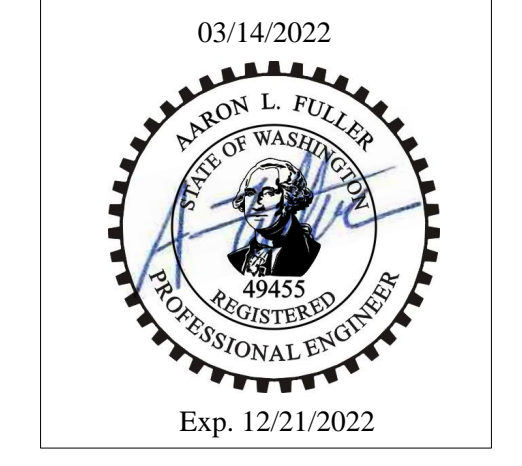
**SANITARY SEWER NOTES:**

- (SS1) INSTALL MANHOLE
- (SS2) INSTALL 8" HDPE PIPE
- (SS3) INSTALL LATERAL CLEANOUT (TYP 46)
- (SS4) INSTALL SANITARY SEWER PUMP GRINDER STATION
- (SS5) INSTALL 2" FORCE MAIN PIPE
- (SS6) TIE-INTO EXISTING SANITARY SEWER MANHOLE RIM EL= 177.00

**WATER NOTES:**

- (W1) INSTALL 8" WATER LINE
- (W2) INSTALL LATERAL WATER METER (TYP 46)
- (W3) TIE-INTO EXISTING WATER MAIN CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF CONNECTION

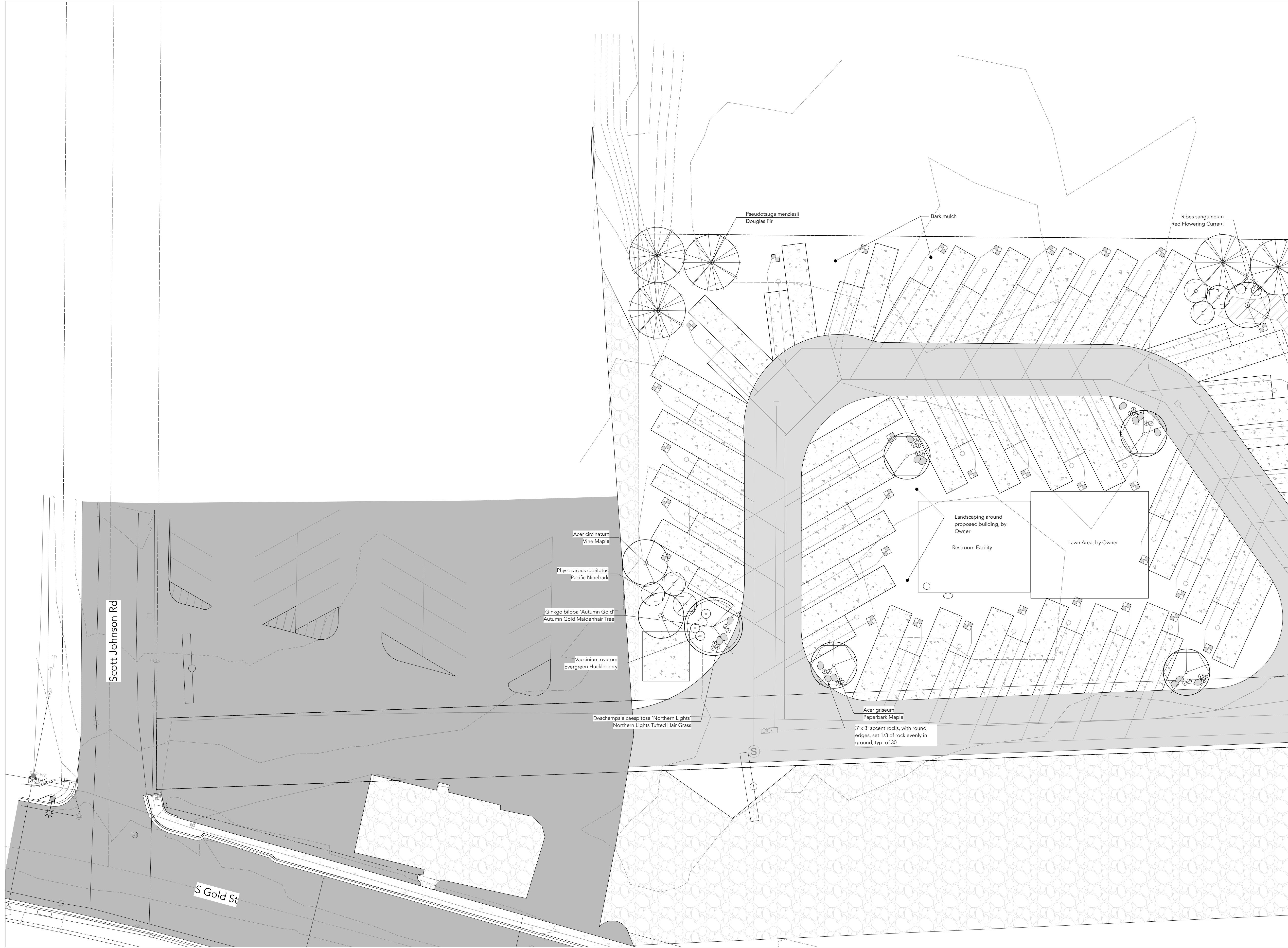
|                             |             |
|-----------------------------|-------------|
| UTILITY PLAN                |             |
| DATE: 3/8/22                | CHECKED: MF |
| SCALE: 1:50                 | DRAWN: SD   |
| PROJECT NAME: HICKS RV PARK |             |



**FULLER DESIGNS**  
 1101 KRESKY AVE  
 CENTRALIA, WA 98531  
 (360) 807-4420

|        |                                       |              |
|--------|---------------------------------------|--------------|
| REV: 1 | DESCRIPTION: PRELIMINARY - FOR PERMIT | DATE: 3/8/22 |
|        |                                       |              |
|        |                                       |              |

**PRELIMINARY**  
 FOR PERMIT ONLY



Client Logo:



### Hicks RV Park

0 Exhibitor Rd.  
Chehalis, Wa.  
98532

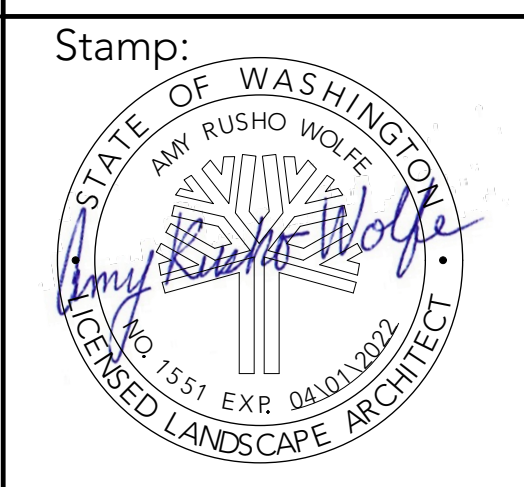
### Landscape Plan

| Revisions | Date |
|-----------|------|
| xx        | xx   |
|           |      |
|           |      |

Project #: 22-110

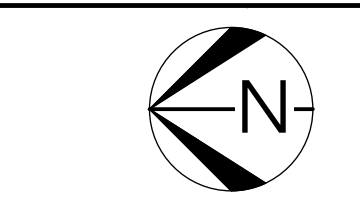
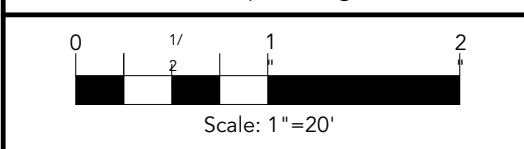
Date: 02/15/22

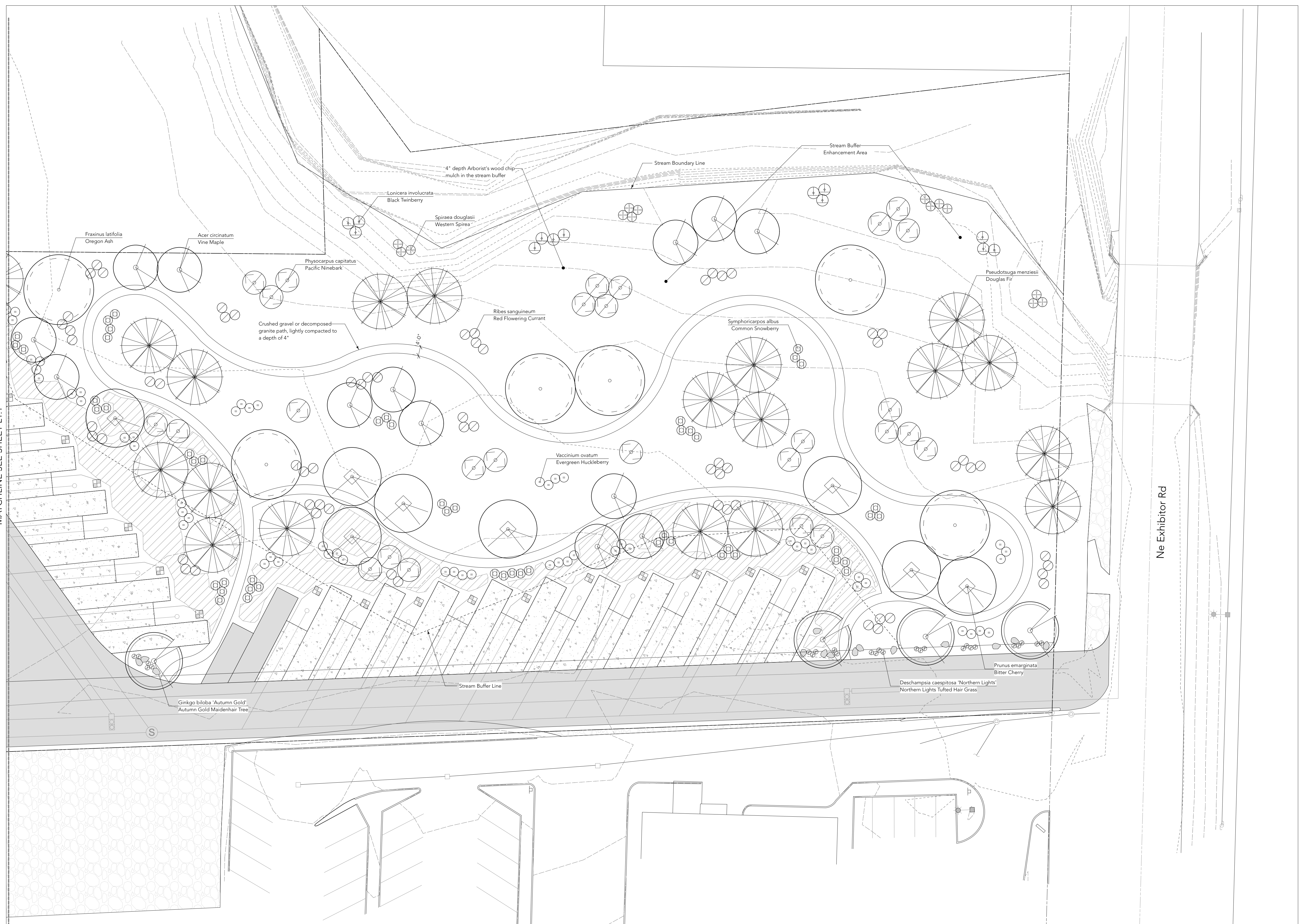
Sheet Size / Scale: 34"x22" / 1" = 20'



Landscape Architect:  

**ARW Landscape Design**  
 Amy R. Wolfe, PLA, ASLA  
 7530 23rd St W  
 University Place, Wa. 98466  
 t. 253.223.1162  
 e. amy@arwlandscapedesign.com  
 www.arwlandscapedesign.com





MATCHLINE SEE SHEET L1.1

Client Logo:



## Hicks RV Park

0 Exhibitor Rd.  
Chehalis, Wa.  
98532

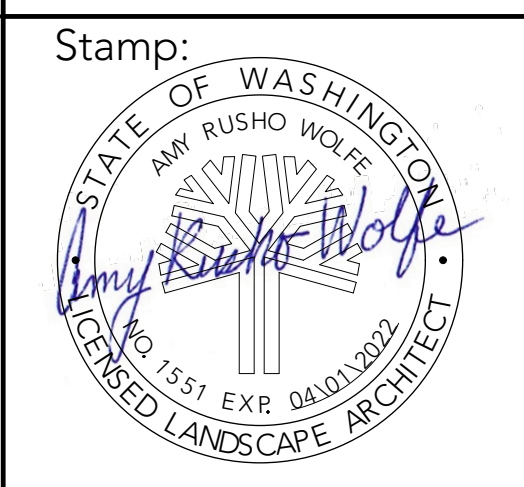
## Landscape Plan

| Revisions | Date |
|-----------|------|
| xx        | xx   |

Project #: 22-110

Date: 02/15/22

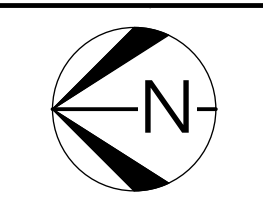
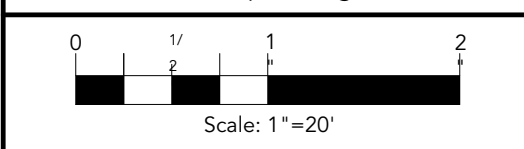
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34"x22" / 1" = 20'







Landscape Architect:



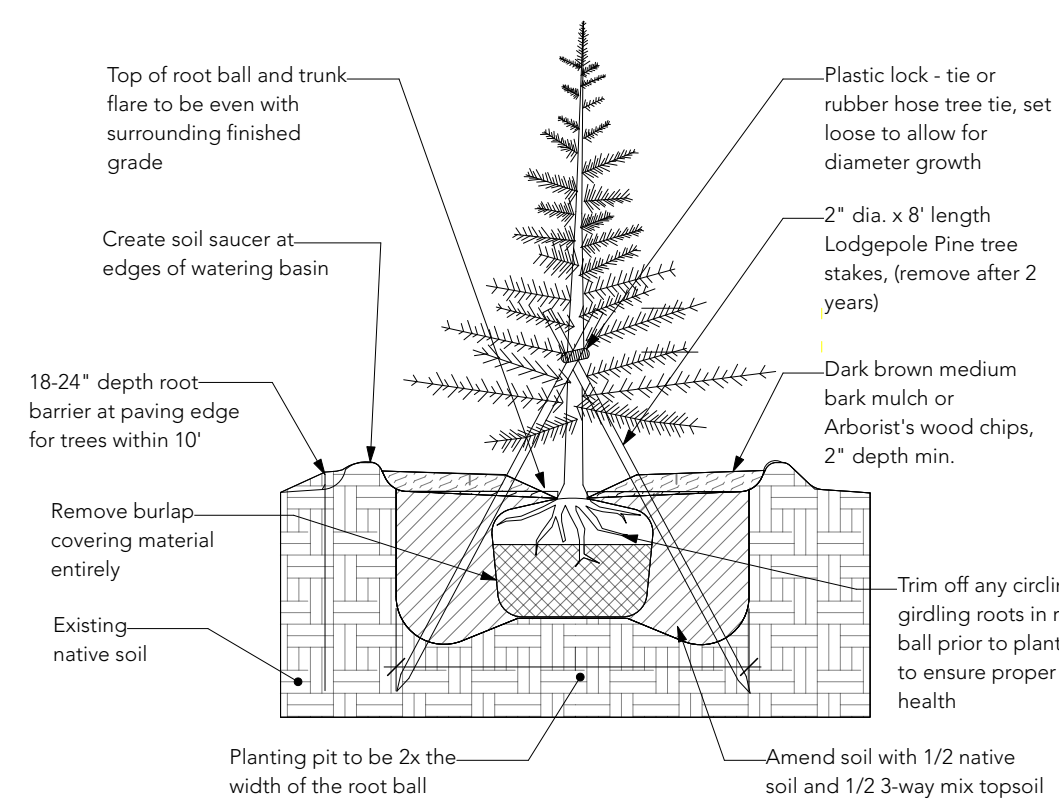
Amy R. Wolfe, PLA, ASLA  
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| Plant Schedule  |     |                                   |  |                    |   |
|---|-----|-----------------------------------|--|--------------------|---|
|   | Qty | Common Name                       | Botanical Name                           | Size & Spacing     | Comments  |
| <b>Groundcover</b>  |     |                                   |  |                    |   |
|    | 257 | Kinnikinnick                      | Arctostaphylos uva-ursi                  | 1 gal., 4' o.c.    | Nursery grown, evergreen, native, small flowers in spring   |
| <b>Grasses</b>  |     |                                   |  |                    |   |
|    | 51  | Northern Lights Tufted Hair Grass | Deschampsia caespitosa 'Northern Lights' | 1 gal., 2' o.c.    | Nursery grown, evergreen, trim back only as needed  |
| <b>Shrubs</b>   |     |                                   |  |                    |   |
|    | 13  | Black Twinberry                   | Lonicera involucrata                     | 2 gal., 5' o.c.    | Nursery grown, deciduous, yellow flowers, attracts hummingbirds, do not top                                 |
|    | 52  | Common Snowberry                  | Symphoricarpos albus                     | 2 gal., 4' o.c.    | Nursery grown, deciduous, native, pink flowers in spring, white berries in fall, do not trim                |
|    | 61  | Evergreen Huckleberry             | Vaccinium ovatum                         | 2 gal., 4' o.c.    | Nursery grown, evergreen, native, edible blue-black berries, do not top                                     |
|    | 33  | Pacific Ninebark                  | Physocarpus capitatus                    | 2 gal., 10' o.c.   | Nursery grown, deciduous, native, do not top  |
|    | 67  | Red Flowering Currant             | Ribes sanguineum                         | 2 gal., 4.5' o.c.  | Nursery grown, deciduous, native, pink flower clusters  |
|    | 14  | Western Spirea                    | Spiraea douglasii                        | 2 gal., 4' o.c.    | Nursery grown, deciduous, native, do not top  |
| <b>Trees</b>  |     |                                   |  |                    |   |
|    | 5   | Autumn Gold Maidenhair Tree       | Ginkgo biloba 'Autumn Gold'              | 2" cal., 45' o.c.  | B&B, nursery grown, golden fall foliage, do not top, street tree quality, branched at 5' height             |
|    | 8   | Bitter Cherry                     | Prunus emarginata                        | 2" cal., 25' o.c.  | B&B, nursery grown, deciduous, native, do not top   |
|  | 23  | Douglas Fir                       | Pseudotsuga menziesii                    | 7-8' ht., 25' o.c. | B&B, nursery grown, evergreen, native, do not top   |
|  | 6   | Oregon Ash                        | Fraxinus latifolia                       | 2" cal., as shown  | Nursery grown, deciduous, native, evenly branched   |
|  | 4   | Paperbark Maple                   | Acer griseum                             | 2" cal., as shown  | B&B, nursery grown, street tree quality, branched at 5' height from the ground, evenly branched, do not top |
|  | 16  | Vine Maple                        | Acer circinatum                          | 7-8' ht., 20' o.c. | B&B, nursery grown, deciduous, native, multi-trunk, do not top  |

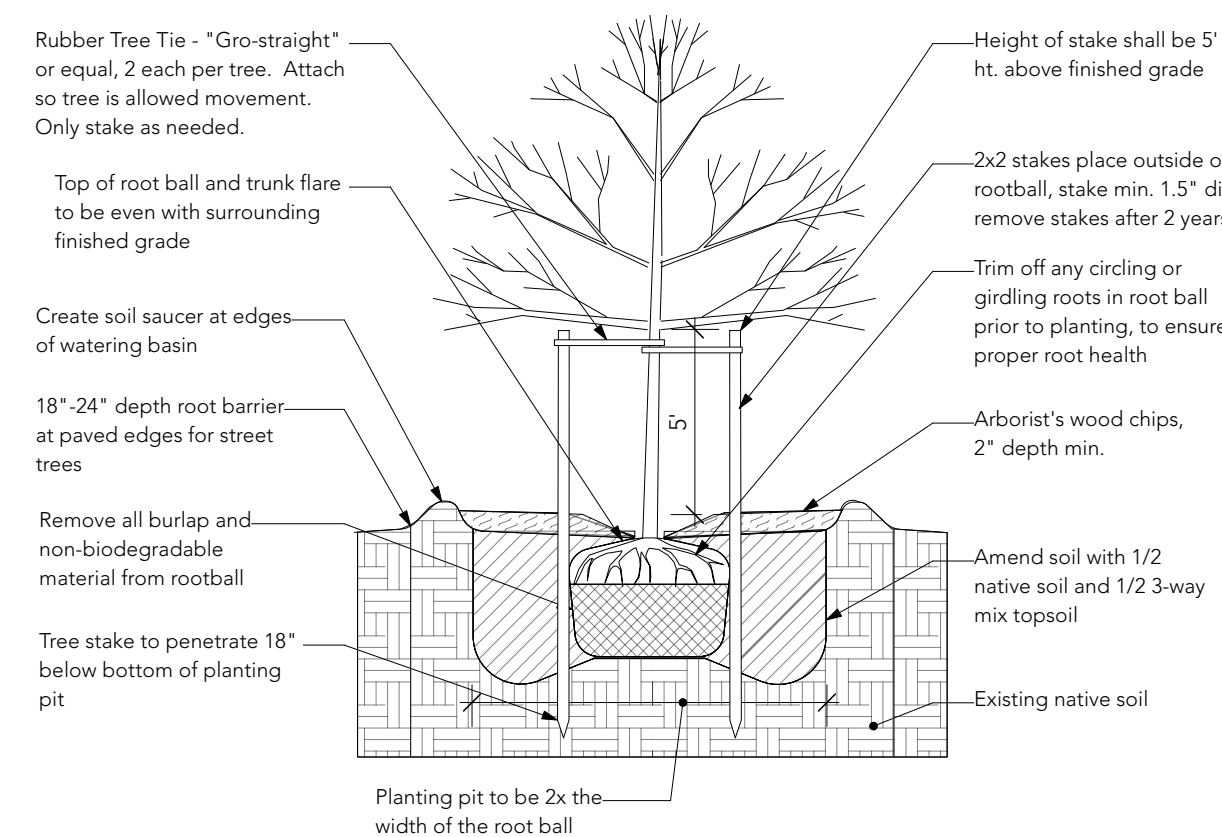
Total Number of Plants = 646

| Materials Schedule  |          |   |
|---|----------|---|
| Item  | Qty.     | Notes   |
| 5/8" Crushed Gravel or Decomposed Granite Path, 850' length                                   | 42 Cy.   | Compact lightly to a depth of 4"  |
| Three Way Mix Topsoil   | 1100 Cy. | Mix a 4" layer with 1/2 native soil into all new planting beds to a depth of 8" |
| Dark Brown Medium Bark Mulch or Arborist's Wood Chips for Plants Outside of the Stream Buffer | 111 Cy.  | Spread a 2" layer evenly around plants  |
| Arborist's Wood Chips for Plants in the Stream Buffer   | 890 Cy.  | Spread a 4" layer evenly around plants  |



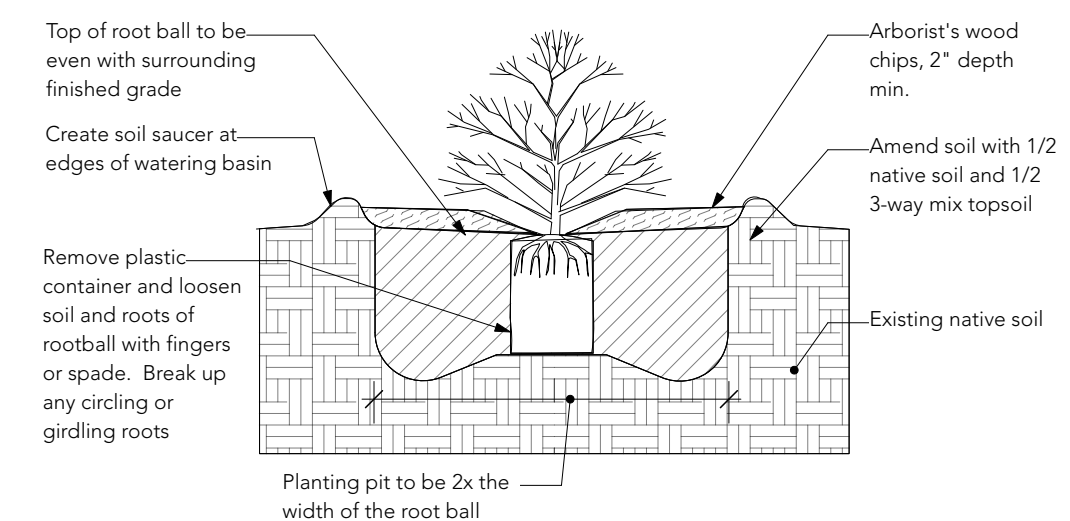
**Coniferous Tree Planting Detail**  
NTS

**Notes:**  
1) Contractor to ensure roots are not kinked, circling, or girdling the trunk, prior to installation.  
2) If roots are found to be defective, contractor to correct or replace plant material prior to installation.

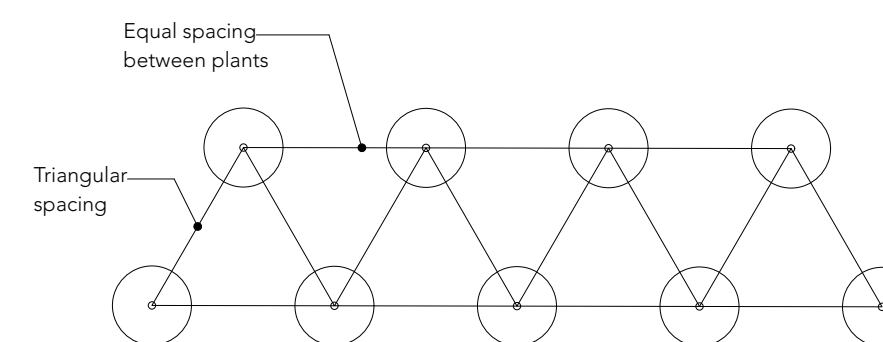


**Tree Planting Detail**  
NTS

**Notes:**  
1) Contractor to ensure roots are not kinked, circling, or girdling the trunk, prior to installation.  
2) If roots are found to be defective, contractor to correct or replace plant material prior to installation.



**Shrub/Ground Cover Planting Detail**  
NTS



**Ground Cover Triangular Spacing Detail**  
NTS

**Landscape Notes:**

- The landscape bed shall be free of weeds, rocks > 2"Ø, tree stumps and limbs, construction debris, slurry, and other construction material prior to soil preparation of planting beds.
- The new planting bed shall be de-compacted by roto-tilling, disking or ripping to a depth of at least 8", to thoroughly loosen soil before adding compost to the beds.
- Contractor to verify proposed tree locations in field and avoid underground and overhead utilities, and adjust tree locations as needed prior to digging.
- Landscape Architect to be notified of any discrepancies between the planting plan and on site locations of buildings, paving, and utilities that may interfere with the proposed plant layout.
- Contractor to evaluate soil conditions (pH level, nutrient content, etc.) and correct with proper soil amendment as needed.
- Landscape Architect to be notified and approve of any plant substitutions prior to delivery. Plant material shall be delivered to the site free of diseases, pests, and damaged or broken branches, trunks or limbs.
- All plants shall conform to the Z60.1 "American Standard for Nursery Stock" manual as published by the American Association of Nurseryman (AAN).
- Contractor to guarantee all plants for 1 year and replace any dead or dying plants as notified by the owner.
- Any damaged plant material delivered on site shall be returned and replaced by the grower or contractor.
- Landscape Architect to review plant layout locations via photos or on site.
- All deciduous and coniferous trees shall be placed and installed first, followed by all shrubs, and groundcover.
- Fertilizer, herbicides, and pesticides are not required or needed for the survival of the newly installed plants.
- All proposed plants should be allowed to grow naturally. Trimming is not needed, except for the occasional removal of broken, dead, damaged branches.
- New plants shall be watered weekly in the first growing season or as needed, bi-weekly in the second growing season or as needed, and monthly in the third growing season or as needed, in the spring, summer, and fall months.
- Check plants for burned or brown leaves, wilting branches or leaves, and dry soil during the summer months and apply irrigation as needed.

Client Logo:



Hicks RV Park

0 Exhibitor Rd.  
Chehalis, Wa.  
98532

Landscape  
Schedule,  
Notes &  
Details

Revisions      Date

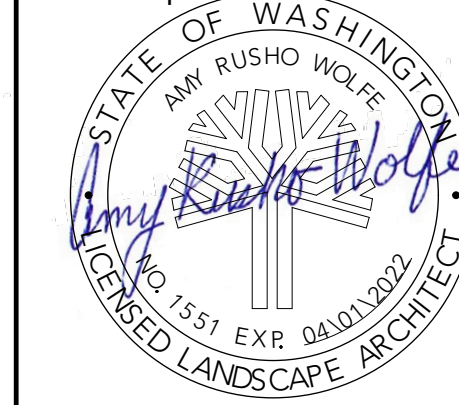
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Project #:  
22-110

Date:  
02/15/22

Sheet Size / Scale:  
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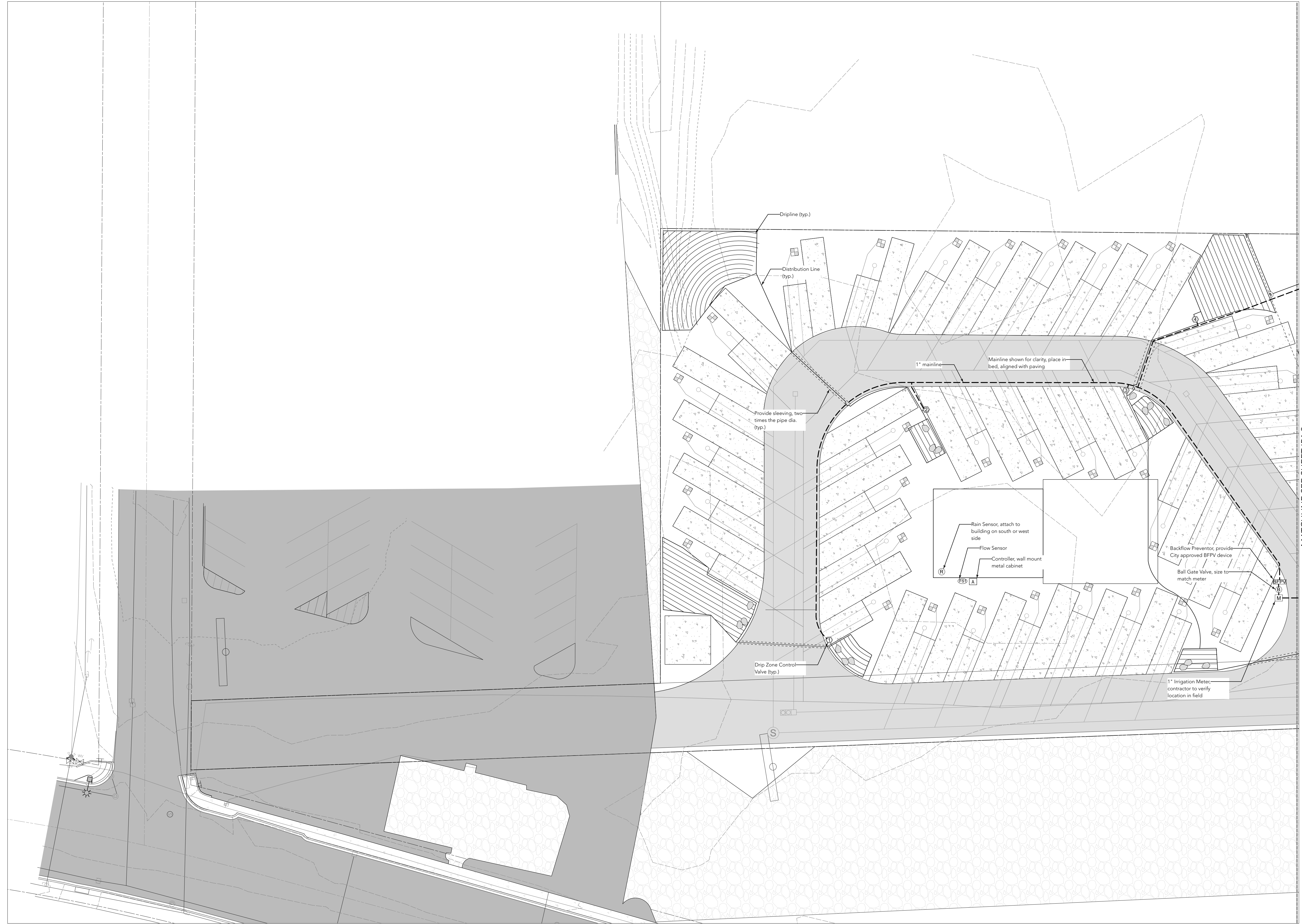
Stamp:



Landscape Architect:



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Client Logo:



# Hicks RV Park

0 Exhibitor Rd.  
Chehalis, Wa.  
98532

## Irrigation Plan

| Revisions | Date |
|-----------|------|
| xx        | xx   |

Project #:  
22-110

Date:  
02/15/22

Sheet Size / Scale:  
34" x 22" / 1" = 20'

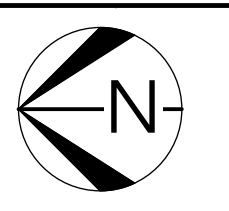
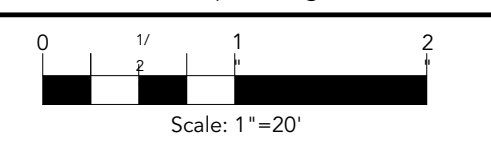
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MATCHLINE SEE SHEET IR1.1

Client Logo:



## Hicks RV Park

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98532

## Irrigation Plan

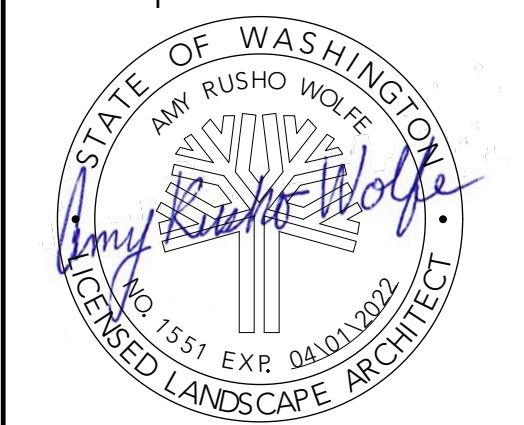
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22-110

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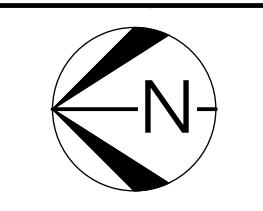
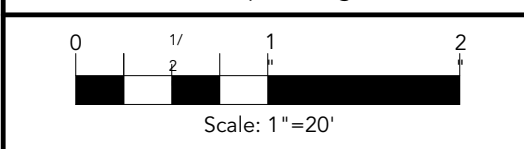
Stamp:



Landscape Architect:



**ARW**  
Landscape  
Design  
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# Hicks RV Park

0 Exhibitor Rd.  
Chehalis, Wa.  
98532

## Irrigation Schedule, Notes & Details

Revisions      Date

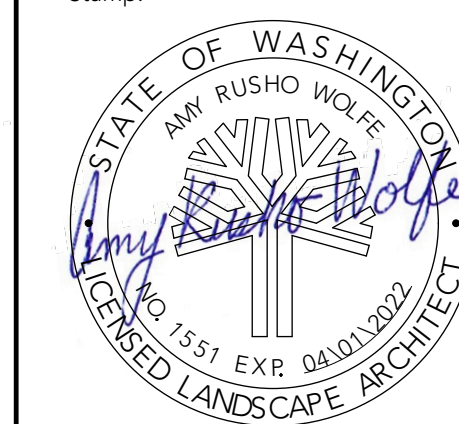
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Project #:  
22-110

Date:  
02/15/22

Sheet Size / Scale:  
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Stamp:



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| SYMBOL | MANUFACTURER/ DESCRIPTION   | MODEL  | COMMENTS                                   |
|--------|---|--|--|
| M      | 1" IRRIGATION METER (BY OTHERS COORDINATE P.O.C. WITH CONSTRUCTION MANAGER) |  | 55 PSI STATIC PRESSURE                     |
| B      | BRASS GATE VALVE  | RUB BALL VALVE, S95F43 (ROUND HANDLE)            | SIZE TO FIT MAINLINE                       |
| BFPV   | 1" BACK FLOW PREVENTOR  | FEBCO 850  | SIZE TO MATCH METER                        |
| R      | HUNTER RAIN SENSOR  | RAIN-CLIK-SGM                                    | WIRELESS RAIN SENSOR W/GUTTER MOUNT        |
| FS1    | HUNTER 1" FLOW SENSOR   | HFS W/ FCT-150                                   | WIRE DIRECTLY TO CONTROLLER                |
| X      | HUNTER 1" AUTOMATIC CONTROL VALVE   | ICV-101G WITH PRESSURE REGULATOR                 | WIRE DIRECTLY TO CONTROLLER, SEE VALVE KEY |
| A      | HUNTER CONTROLLER   | I-CORE, IC-600-M & (2) ICM-600 EXPANSION MODULES | WALL MOUNTED METAL CABINET                 |

| SYMBOL | MANUFACTURER/ DESCRIPTION           | MODEL      | COMMENTS  |
|--------|-------------------------------------|------------|---|
| -----  | IRRIGATION MAIN LINE 1"             | SCH 40 PVC |   |
| -----  | IRRIGATION LATERAL LINE SIZE VARIES | SCH 40 PVC | SEE PIPE SIZING LEGEND                                  |
| -----  | PIPE AND WIRE SLEEVING              | SCH 40 PVC | DIAMETER TO BE TWICE THE SIZE OF THE PIPE BEING SLEEVED |

| SYMBOL | MANUFACTURER/ DESCRIPTION    | RAD. | MODEL              | PSI |
|--------|------------------------------|------|--------------------|-----|
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 8"   | MP1000 CORNER HEAD | 35  |
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 8"   | MP1000 HALF HEAD   | 35  |
| ⊙      | HUNTER MP ROTATOR SPRAY HEAD | 8"   | MP1000 FULL HEAD   | 35  |
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 13"  | MP1000 CORNER HEAD | 35  |
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 13"  | MP1000 HALF HEAD   | 35  |
| ⊙      | HUNTER MP ROTATOR SPRAY HEAD | 13"  | MP1000 FULL HEAD   | 35  |
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 18"  | MP1000 CORNER HEAD | 35  |
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 18"  | MP1000 HALF HEAD   | 35  |
| ⊙      | HUNTER MP ROTATOR SPRAY HEAD | 18"  | MP1000 FULL HEAD   | 35  |
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 28"  | MP3000 CORNER HEAD | 35  |
| ⬇      | HUNTER MP ROTATOR SPRAY HEAD | 28"  | MP3000 HALF HEAD   | 35  |
| ⊙      | HUNTER MP ROTATOR SPRAY HEAD | 28"  | MP3000 FULL HEAD   | 35  |

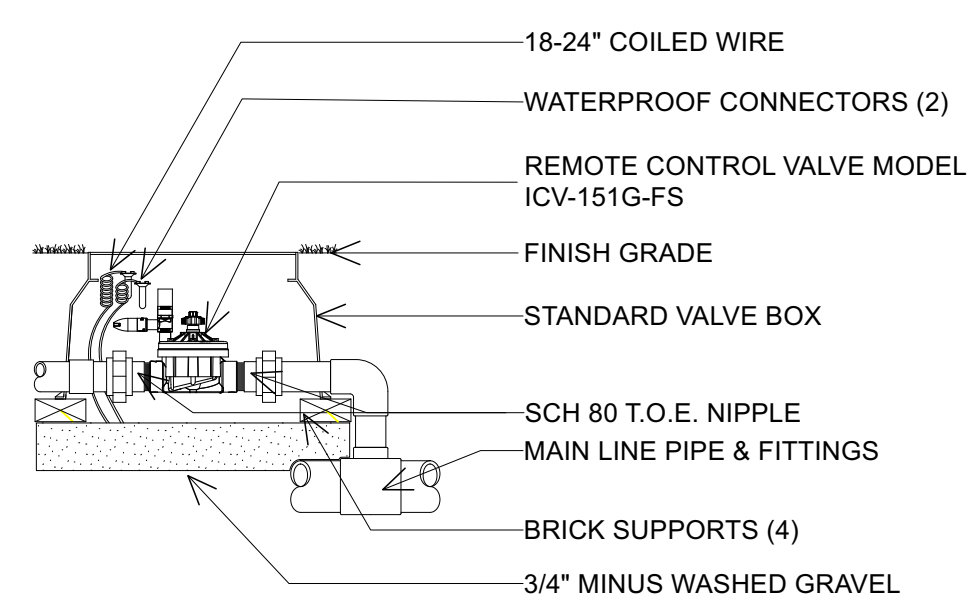
| SYMBOL | MANUFACTURER/ DESCRIPTION                              | MODEL                        | GPM     | PSI |
|--------|--|------------------------------|---------|-----|
| -----  | HUNTER MICRO IRRIGATION DRIPLINE SYSTEM                | HDL-09-24-250-CV 24" SPACING | .90 GPH | 25  |
| -----  | DISTRIBUTION LINE                                      | HDL-BLNK-250                 |         | 25  |
| ⊗      | HUNTER DRIP CONTROL ZONE KIT                           | ICZ 1"                       |         | 25  |
| ⊕      | HUNTER AIR RELIEF VALVE                                | PLD-ARV                      |         | 25  |
| ⊖      | HUNTER AUTOMATIC FLUSH VALVE, INSTALL ONE IN EACH ZONE |                              |         | 25  |

|                   |             |
|-------------------|-------------|
| 3/4" SCH 40 PVC   | (0-8 GPM)   |
| 1" SCH 40 PVC     | (8-12 GPM)  |
| 1-1/4" SCH 40 PVC | (12-22 GPM) |
| 1-1/2" SCH 40 PVC | (22-30 GPM) |
| 2" SCH 40 PVC     | (30-50 GPM) |

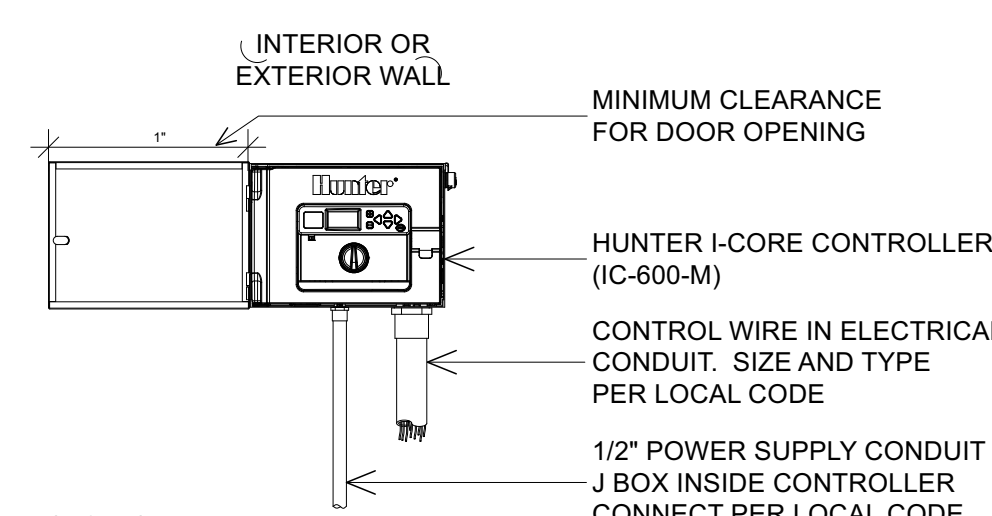
| VALVE | SIZE | GPM  | TYPE        |
|-------|------|------|-------------|
| 1     | 1"   | 2.25 | Drip        |
| 2     | 1"   | 4.9  | Drip        |
| 3     | 1"   | 5.5  | Drip        |
| 4     | 1"   | 3.2  | Drip        |
| 5     | 1"   | 18.7 | Spray Heads |
| 6     | 1"   | 10.2 | Drip        |
| 7     | 1"   | 14.5 | Spray       |
| 8     | 1"   | 10.3 | Drip        |
| 9     | 1"   | 14.8 | Spray       |
| 10    | 1"   | 8.5  | Drip        |
| 11    | 1"   | 5.6  | Drip        |
| 12    | 1"   | 7.4  | Drip        |
| 13    | 1"   | 9.5  | Drip        |
| 14    | 1"   | 10.5 | Drip        |
| 15    | 1"   | 8.6  | Drip        |
| 16    | 1"   | 7.2  | Drip        |
| 17    | 1"   | 19.6 | Spray       |
| 18    | 1"   | 4.5  | Drip        |

### IRRIGATION NOTES:

- Design assumes static water pressure at the source to be 50 PSI. Notify designer if PSI is below 50 PSI.
- All irrigation laterals, driplines, valves, controllers, and mainlines are shown diagrammatically, align in planting beds next to paved areas.
- Landscape architect is not responsible for correcting any irrigation connections, inconsistencies, or piping layout. Contractor is responsible for verifying all irrigation component locations and layout prior to construction.
- Contractor to provide sleeving under all paved areas for irrigation piping.
- Contractor to verify irrigation sleeve locations under all paving as needed to avoid underground utilities.
- Group at least two control valves in valve boxes, locations shown on the plan are diagrammatic.
- Rain sensor to be mounted on a west or south facing wall, metal cabinet, pole, or gutter.
- Contractor to verify irrigation P.O.C, and at least 50 PSI at the source, and install approved backflow prevention device.
- Contractor to verify irrigation system is functioning properly and will provide full coverage for all planting areas.
- Water new plants immediately after installation, and every other day during the spring and summer months, and as needed in the fall.
- All plants and lawn areas shall be watered for the first three seasons to help plant roots get established. After three seasons, reduce the amount of irrigation applied. Only run irrigation during drought and/or hot summer days.

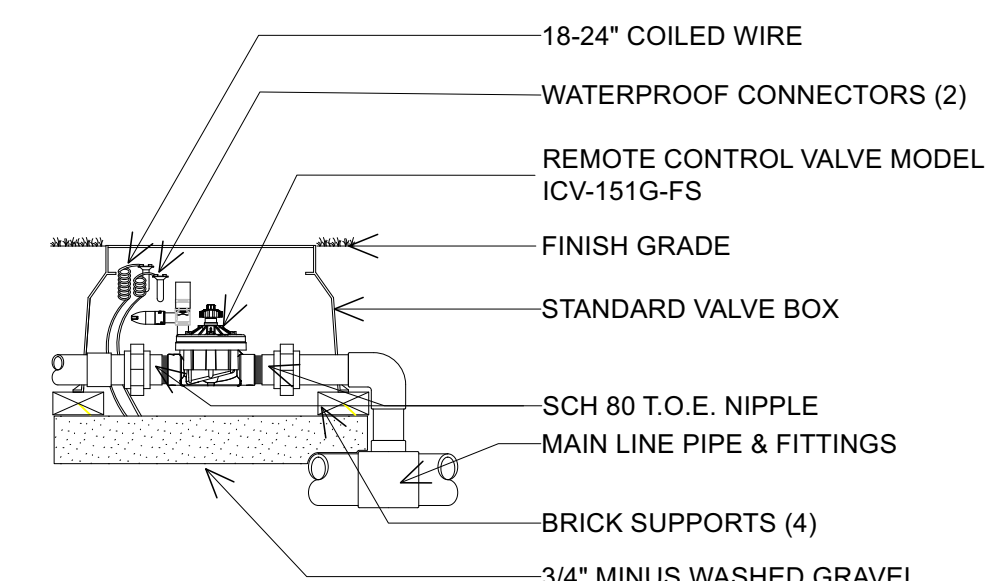


ICV GLOBE VALVE  
NTS

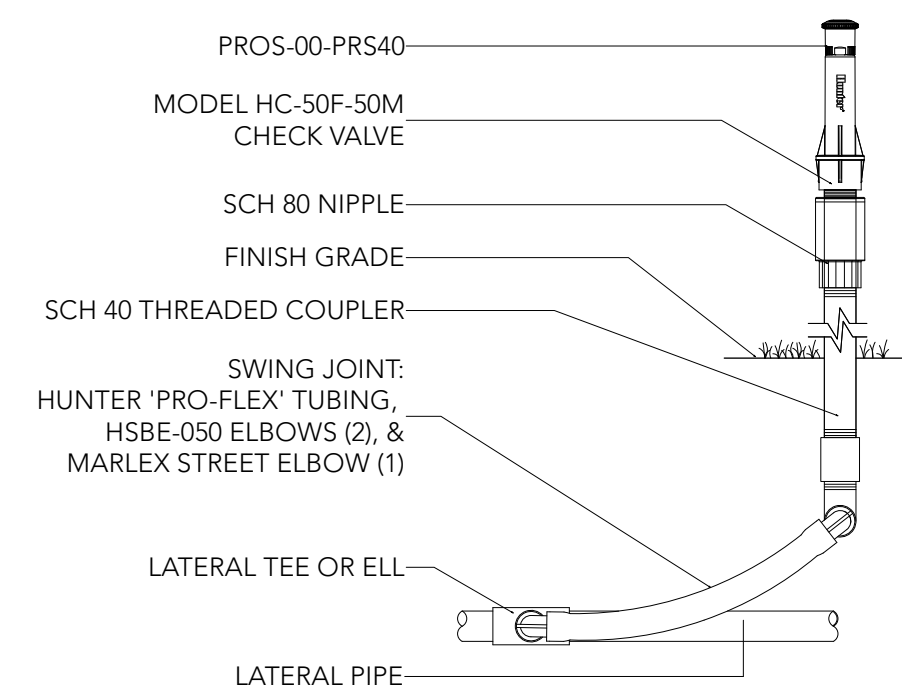


\*NOTE\*  
SPECIFY 6, 12, 18, 24, 30, 36, 42 STATION MODEL CONTROLLER. MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 or 220 VAC SOURCE.

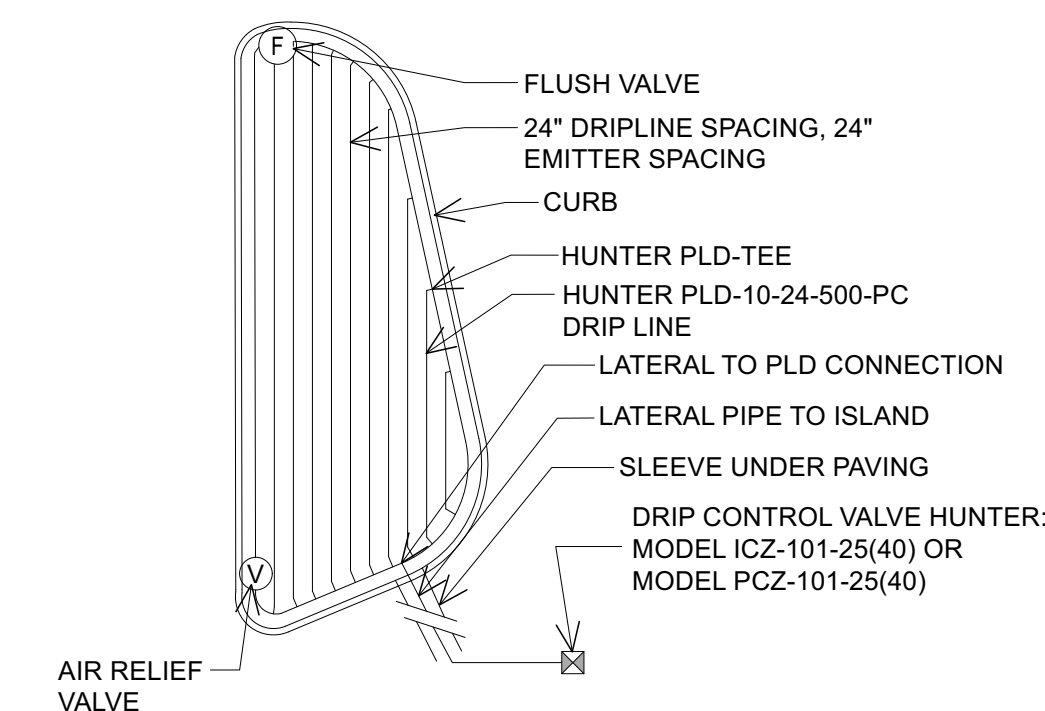
METAL CONTROLLER DETAIL  
NTS



ICZ DRIP CONTROL ZONE KIT  
NTS



MP ROTATOR SPRINKLER DETAIL  
NTS



DRIPLINE LAYOUT DETAIL  
NTS



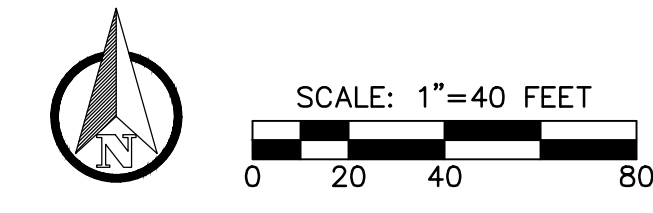
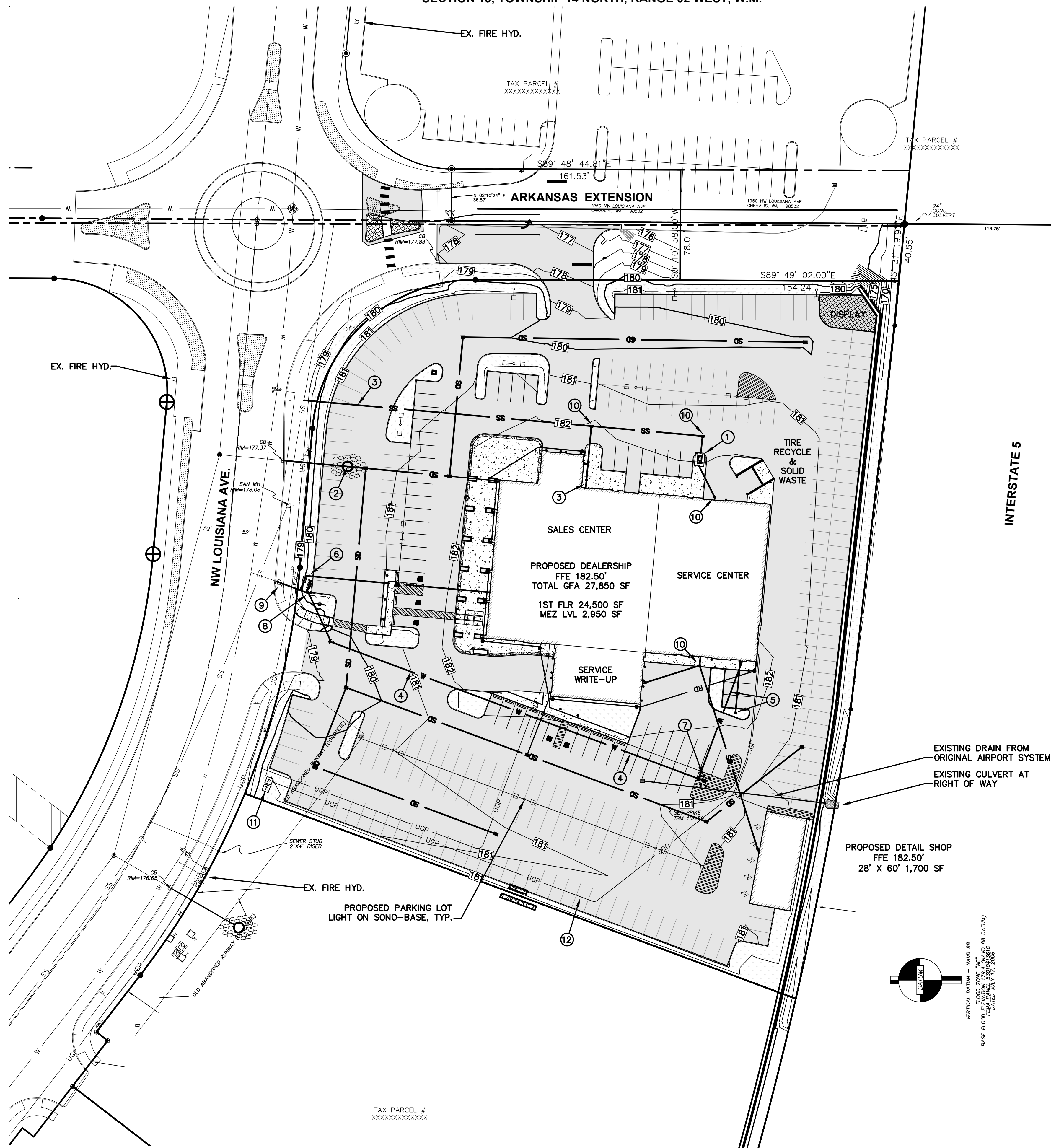
Vicinity Map for  
SEPA-22-0003







SECTION 19, TOWNSHIP 14 NORTH, RANGE 02 WEST, W.M.



PRELIMINARY UTILITY/SERVICE CONSTRUCTION NOTES:

- ① PROPOSED OIL WATER SEPARATOR FOR SERVICE SERVICE WRITE-UP AND DETAIL BUILDING FLOOR DRAINS.
- ② PROPOSED STORM CONNECTION AT EXISTING MANHOLE ROUTES TO REGIONAL STORMWATER FACILITY
- ③ PROPOSED NEW SANITARY SEWER LATERAL CONNECTION TO EXISTING SEWER MAINLINE; CUT AND RESTORE EX. SIDEWALK AS REQUIRED
- ④ PROPOSED NEW 6" WATER MAIN
- ⑤ PROPOSED FIRE LEAD-IN TO D.C.V AND RISER ROOM AND FIRE DEPARTMENT CONNECTION.
- ⑥ PROPOSED NEW DOMESTIC WATER SERVICE AND REDUCED PRESSURE BACKFLOW ASSEMBLY.
- ⑦ PROPOSED NEW FIRE HYDRANT, WITH BOLLARDS
- ⑧ PROPOSED IRRIGATION METER WITH DCVA
- ⑨ CONNECTION TO EXISTING WATERMAIN STUB
- ⑩ SEWER CLEAN OUT
- ⑪ PROPOSED ELECTRICAL TRANSFORMER (APPROX.)
- ⑫ PROPOSED NEW ELECTRICAL SECONDARY FEED TO BUILDING

| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |

DESIGNED BY: CA  
 DRAWN BY: CA  
 CHECKED BY: RWB  
 DATE: 2/4/22  
 SCALE: 1" = 40'

**INTERSTATE HONDA**  
 1850 NW LOUISIANA AVE.  
 CHEHALIS, WA 98532  
 CITY OF CHEHALIS, WA.

PRELIMINARY UTILITY PLAN



**RB Engineering**  
 DESIGN → PERMIT → MANAGE  
 P.O. Box 923  
 CHEHALIS, WA 98532  
 OFF: (509) 740-8819  
 EMAIL: info@rbengineering.com



JOB NUMBER  
 21026  
 DRAWING NAME  
 21026\_PUTPL  
**C1.2**  
 4 OF 5





## INTERSTATE HONDA SITE DEVELOPMENT

### FILL & GRADE PERMIT – WORK PLAN

February 7, 2022

Filling and grading of this project will be in conjunction with the site development for the proposed auto dealership. Grading activity will include minor site cuts (~500 cu. yds) to depths of less than 12" (exclusive of footing dig-outs which may be slightly deeper), placement of additional ballast, aggregate base and top course prior to asphalt pavements or concrete flatwork. The grading activity will also include placement of compacted and geosynthetic reinforcement in conjunction with construction of the segmental concrete wall at eastern perimeter. The wall has been engineered and permitted separately but did not include earthwork quantities. Estimated total of all fill materials for wall and site development is roughly 8,200 cu.yds.

Concurrently, bulk fill and compaction remains to be placed that was permitted with the Fill & Grade permit for Tracts 8 & 9. There is an estimated 18,000-20,000 cu.yds. to be placed for this project that could not be completed in 2021 due to weather. Testing and certification will be performed under this F&G permit to approved subgrade limits. Further testing and certification will be performed for the Honda site development grading.

The NPDES CSWG permit coverage in place for the bulk F&G work will be extended for the site development. Temporary erosion control measures will be maintained for Tracts 8&9 until permanent stabilization measures are installed.

Grading activity for the balance of the bulk F&G will take about 8 working days, with truck trips similar to the placement work during late summer 2021. Construction of the retaining wall and placement of reinforced earth backfill (roughly 3,000 cu.yds.) will take about 20-25 days. Truck trips for the wall construction may be 18-20 trucks per day. Truck trips for the site development (primarily aggregates for base, etc.) may be 10-20 trucks per day over a period of 20-30 days.