



Building and Planning Department

1321 S. Market Blvd. Chehalis, WA 98532

360.345.2229

www.ci.chehalis.wa.us email: comdev@ci.chehalis.wa.us

**City of Chehalis Historic Preservation Commission
Staff Report for CU-22-001
March 10, 2022**

To: Hearing Examiner From: Amelia Schwartz, City Planner Date of Staff Report: March 3, 2022	Subject: Manufactured Home Placement Location: 52 SE Spring St Date of Public Hearing: March 10, 2022
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Introduction:

The applicant David Duvall with Empire Home Construction LLC is proposing the placement of a manufactured home in an R1 zone on a .26-acre (approximately 11350 square feet) lot. Lewis County Parcel #005604053038. The former building on the site that has been removed is listed as "Very-Poor" condition with the Lewis County Assessor. The lot is approximately 50 feet wide by 227 feet in length.

The proposed manufactured home is a Golden West Model # INS382F, double-wide, 27 feet in depth by 38 feet wide. It is incorrectly recorded as 48 feet wide in the application but has been verified at 38 feet by the building plans and an applicant representative. It is a new unit, never lived in. The plans did not indicate if a porch would be added or not. The proposal has the home facing SE Spring Street, where it will access the street via a private driveway. The proposed driveway is 12 feet wide by 20 feet in length and can provide off-street parking for one vehicle. The front door of the structure will face the front of the property. Proposed setbacks are 20 feet in the front, 5 on the sides, and 180 feet to the back of the property. The applicant has requested and received an administrative variance for the eaves of the building to protrude 5 inches on the north and south side of the building into the 5-foot setback.

The surrounding lots consist of single-family homes. This lot and all adjacent lots are zoned R-1, Single family, low density.

The applicant applied with preliminary and incomplete documents on February 3, 2022 and submitted the rest of the required documents for a complete application on February 14, 2022.

Public Notification and Comment:

Public notice issued February 24, 2022 in The Chronicle. Public notice was also posted on the city website on March 24, 2022. Public comments that were received from the public as of the writing of this report are attached in Exhibit I.

Environmental Review:

As this is a single-family residence, this is exempt from a SEPA environmental review.

Adjacent Land Use:

Immediately adjacent land uses to the property include R1 single-family residences, RUGA single-family residence, and EPF (C) (Cemetery).

Staff Findings and Recommendation:

- 1) *Staff finds that the proposal is consistent with the Comprehensive Plan goals listed here:*
 - H.01 To encourage a diversity of housing types and opportunities to meet the needs of all economic segments and special needs of the community.
 - H.01.02 Support private individuals or developers to develop suitable housing to meet the housing needs of low and moderate income persons.
 - H.01.05 Establish development regulations that provide for a range of housing types that include single family, duplex, multi-family, mobile homes, manufactured housing, and accessory dwellings.
- 2) *Staff finds that the proposed use of a manufactured home in an R1 zone is conditional, as identified in CMC 17.78 “Residential Occupancy Group” Chart.*
- 3) *Staff finds that the proposed site plan meets R1 setback and coverage regulations.*
- 4) *Staff finds that the proposed driveway does not meet the required 2 parking spots as listed in CMC 17.78 use code R315, Manufactured Home. CMC 17.84 requires 20 lineal feet per vehicle.*
- 5) *Staff met with the City of Chehalis Development Review Committee on March 2, 2022 and the committee recommended approval of the application, with the condition that the parking spaces are modified to accommodate two vehicles according to Chehalis Municipal Code regulations.*

Staff recommends APPROVAL of CU-22-001 for the placement and use of a manufactured home in the R1 zone with the following conditions:

- 1) *As per CMC 17.78.020 there must be 2 off-street parking spaces for each single-family home.*

Exhibit A: Conditional Use Application

Exhibit B: Applicant Narrative

Exhibit C: Variance Request

Exhibit D: Building Plans

Exhibit E: Exterior Imagery of Model

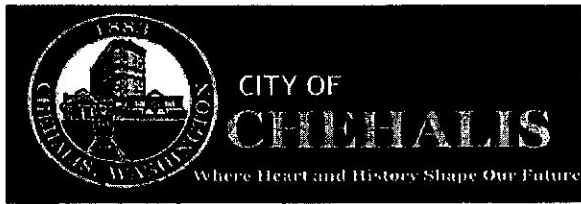
Exhibit F: Notice of Public Hearing published in the Chronicle, February 24, 2022

Exhibit G: Surrounding Buildings

Exhibit H: Vicinity Map

Exhibit I: Public Comments

EXHIBIT A



Return your permit application to Community Development
Department
1321 S Market Blvd, Chehalis, WA 98532
(360) 345-2229
www.ci.chehalis.wa.us email: comdev@ci.chehalis.wa.us

Job site address: 52 So Spring St Parcel #: 005604053038
Applicant/Contact Person Chehalis
Name: David Duvall
Mailing address: Po Box 241
City, State, and Zip: Kelso, WA 98626
Phone #: 360-751-8062 Email: (required) dauidduvall80@gmail.com
Is the property owner the same as the applicant: Yes No If yes, you may skip the property owner section

Property Owner
Name: Empire Home Construction LLC.
Mailing address: Po Box 241
City, State, and Zip: Kelso, WA 98626

Contractor/Engineer/Surveyor Contractor's L&I #: EMPIRH84206
Contact Name: David Duvall
Company/Firm Name: Empire Home Construction LLC.
Mailing address: Po Box 241
City, State, and Zip: Kelso, WA 98626
Phone #: 360-751-8062 Email: (required) dauidduvall80@gmail.com

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)
We removed a tear down house and we would like to install a new Golden West 48'x27' Manufactured home, with door facing road.
Current market value of proposed work: \$325,000
(Fair market labor and materials)

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: David L Duvall Date: 2-2-2022
Print Name: David L. Duvall

Office use only	
Received by: <u>JM</u>	Date Received:
Parcel #: <u>005604053038</u>	<u>2/3/22</u>
Permit #: <u>CU-22-001</u>	
Zoning: <u>R1</u>	
Flood Zone: <u>yes</u> <input type="radio"/> <u>no</u> <input checked="" type="radio"/>	Zone Classification:

EXHIBIT B

From: [David DuVall](#)
To: [Josh McDrummond](#); [Loren DuVall](#); [Christie Ellis](#)
Subject: Fwd: Permit application
Date: Wednesday, February 2, 2022 4:32:19 PM
Attachments: [conditional permit.pdf](#)

NOTICE: This message originated outside of the City network - **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe!

Josh,

Empire Home Construction, LLC., would like to apply for a conditional permit. We already removed a home from the site, which we thought we could remodel. Unfortunately, it turned out to be a total loss. We have encountered inflated lumber prices, contractor availability issues, Covid 19 impacts and economic infeasibility. This has resulted in the need to go a different route.

Instead, it would be much more feasible to install a brand new Golden West 48x27 Manufactured Home. The home has approximately 6ft setbacks on the side and an approximately 30ft setback in front. We feel this will be a positive addition to the current neighborhood and far more realistic within the current circumstances for us. Please consider our request.

Thank you for your consideration.

David DuVall
Partner Owner,
Empire Home Construction, LLC.
360-751-8062

----- Forwarded message -----

From: **Josh McDrummond** <jmcdrummond@ci.chehalis.wa.us>
Date: Wed, Feb 2, 2022 at 1:13 PM
Subject: Permit application
To: David Duvall <davidlduvall80@gmail.com>

Josh McDrummond

CPT,CESCL,Code Enforcement

Chehalis Building and Planning Department

1321 South Market Blvd

EXHIBIT C

From: [Tammy Baraconi](#)
To: [David DuVall](#)
Cc: [Josh McDrummond](#); [Laura Fisher](#); [Amelia Schwartz](#)
Subject: RE: 52 se spring st
Date: Thursday, February 10, 2022 1:33:17 PM

David,

I am able to approve an administrative variance to allow the eaves to hang into the setbacks by five inches for this however you still need a public hearing for a conditional use permit. Amelia can help you with that process. Tammy

Tammy S. Baraconi, CFM

360.345.2227

tbaraconi@ci.chehalis.wa.us

From: David DuVall <davidlduvall80@gmail.com>
Sent: Thursday, February 10, 2022 1:23 PM
To: Tammy Baraconi <tbaraconi@ci.chehalis.wa.us>
Subject: Fwd: 52 se spring st

NOTICE: This message originated outside of the City network - DO NOT CLICK on links or open attachments unless you are sure the content is safe!

second request

----- Forwarded message -----

From: **David DuVall** <davidlduvall80@gmail.com>
Date: Wed, Feb 9, 2022 at 4:09 PM
Subject: 52 se spring st
To: <tbaraconi@ci.chehalis.wa.us>, Loren DuVall <lorenduvall@gmail.com>

Hello,

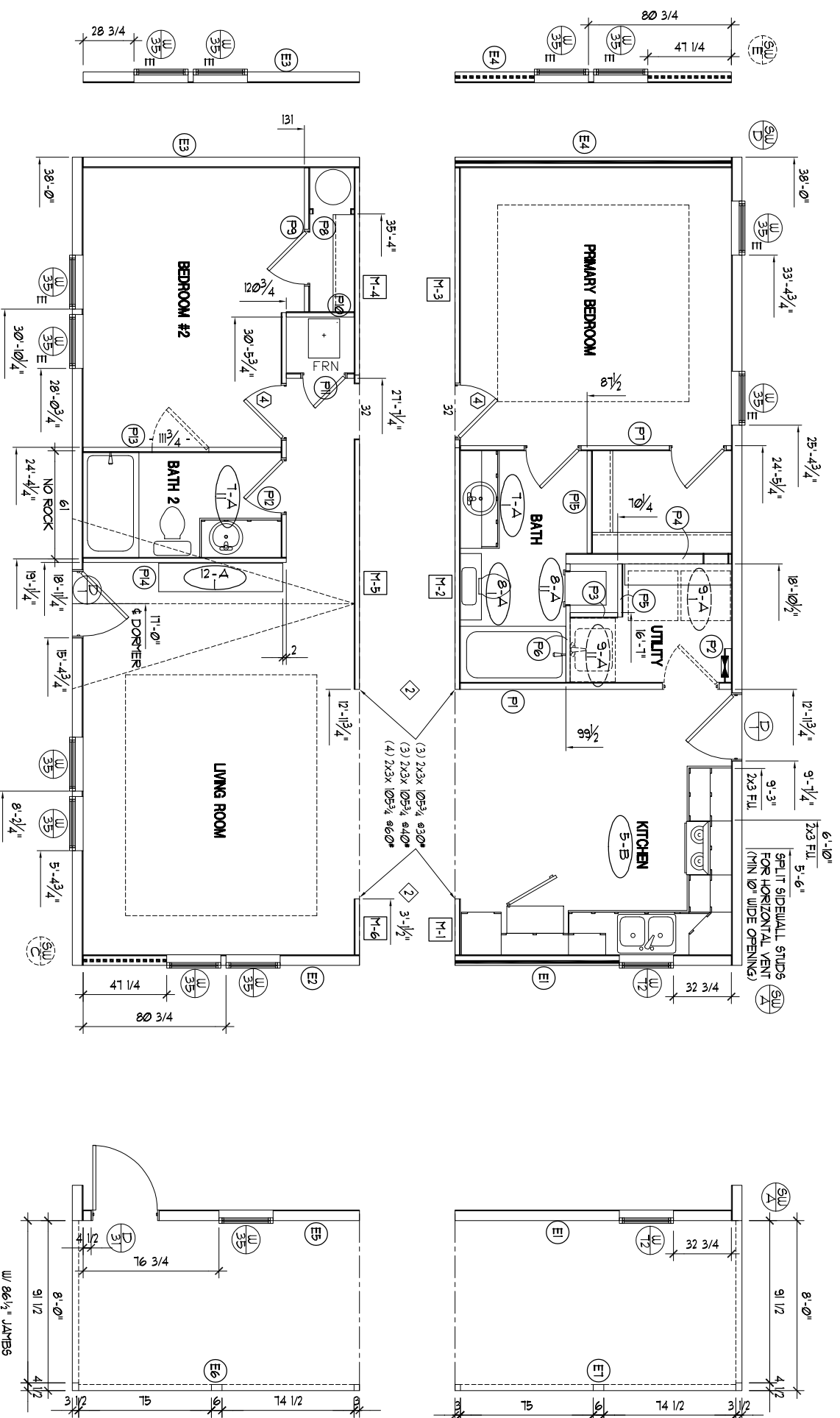
I was hoping you could give me a variance, If I have a 50 ft wide lot and want to put a 38ft mobile on it, with 17 inch eaves i will be 5 inches over on the 5ft setbacks.

I'm really set on the 38ft mobile I chose and was hoping you could make this work with a verbal before I order it?

Thanks Dave empire home construction

Ive applied for a conditional permit.

EXHIBIT D



A - UNIT

B - UNIT

SIDEWALL NOTES:
 SIDEWALL NOTES:
 ADD BACKERS AT WALLS THAT DO NOT ALIGN WITH "ON" ROD STUDS
 CEILING NOTES:
 ADD LAY-FLAT BACKERS OVER ALL TRANSVERSE WALLS THAT DO NOT HAVE A TRUSS OVER THEM!
 ADD TRUSS W/ SHEATHING OVER ALL INTERIOR SHEAR WALLS!

MIRROR SCHEDULE	
MASTER BATH	24x40
GUEST BATH	24x40
-	-
-	-
-	-
-	-

96" SIDEWALL HEIGHT
80" WDW HEADER HEIGHT
WALL FINISH SCHEDULE
 ALL WALLS - 1/2" SHEETROCK

- ① INDICATES 20x20 AIR RETURN GRILL
 - ② INDICATES 20x36 AIR RETURN GRILL
 - ③ INDICATES 20x25 AIR RETURN GRILL
 - ④ INDICATES 16x8 AIR RETURN GRILL
 - ⑤ INDICATES 16x8 AIR RETURN GRILL
 - ⑥ INDICATES 12x6 AIR RETURN GRILL
 - ⑦ INDICATES STRAPPING
- ▲ XX# XXXX CLUSTER REQ'D
 STRAP NOTE: (3024)
 ADD (U) STRAP AT ALL CENTERLINE OPENINGS UNLESS OTHERWISE NOTED

Manufacturing West, Inc.
 Albany Division - Plant #972
 2445 S.W. PACIFIC BLVD.
 ALBANY, OR 97321
 Phone (541) 926-8631
 Fax (866) 491-6847

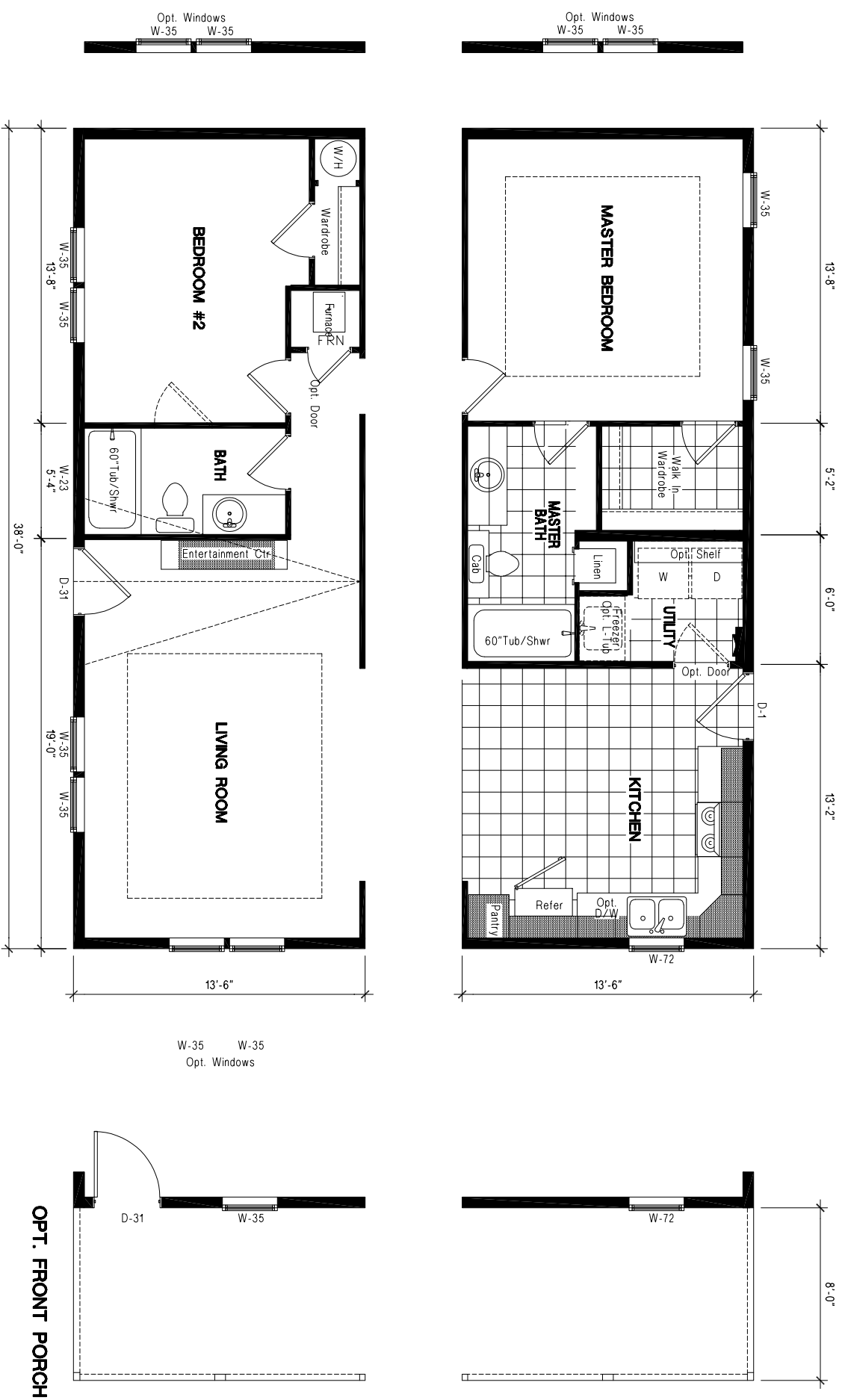
PRODUCTION PLAN
 ORIGINAL DRAWING BY : G. LUND

6" WALLS
 SIDEWALL: 4" OR 6"
 PRODUCT Inspiration
 MODEL NO. **INS 382F**

NO.	DATE	BY
SQ. FT.	1,026	1-8-15
REVISION		
DATE	1-8-15	
SHEET	1-A4	1-20-20

OPPT KIT ABOVE

EXHIBIT D



Redwood II
 2 Bedroom, 2 Bath - 1,026 SQ. FT.

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SALES FLOOR PLAN

DRAWING TITLE

ORIGINAL DRAWING BY : G. LUND

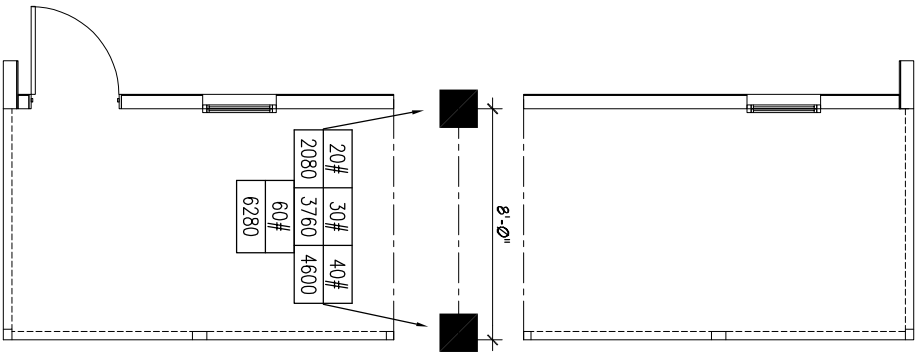
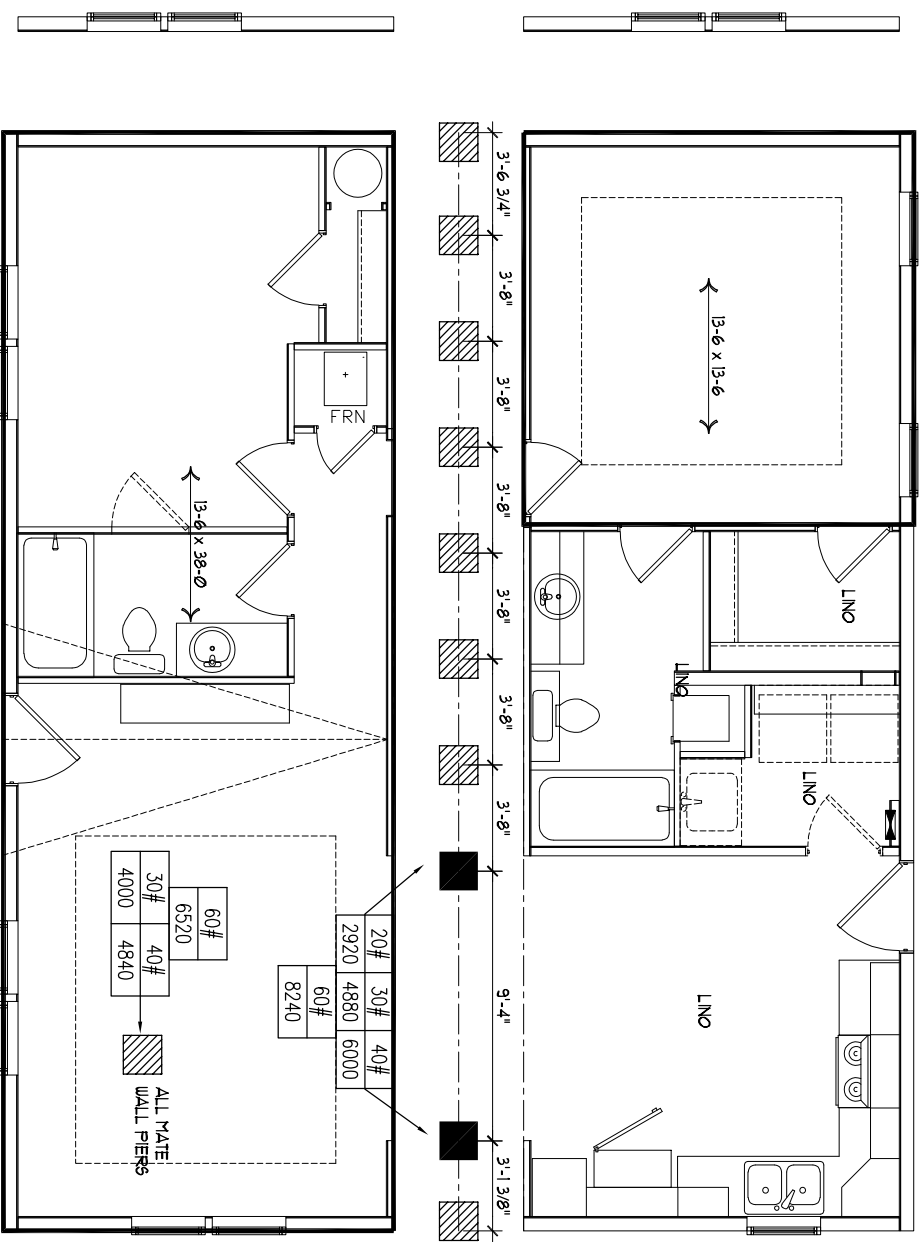
SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT Inspiration MODEL NO. **INS 382F**

SQ. FT. 1,026 DATE 1-8-15

SHEET 1-A1 REVISED -

EXHIBIT D



A - UNIT

B - UNIT

OPT. FRONT PORCH

13-6" CARPET LAYOUT

STANDARD CARPET

TOTAL 31'-7 1/2"

OPTIONAL CARPET

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DRAWING TITLE
CARPET & PIER LOC.

ORIGINAL DRAWING BY : G, LUND

SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT Inspiration MODEL NO. **INS 382F**

SQ. FT. 1,026 DATE 1-8-15

SHEET 1-A2 REVISED -

LEGEND

PIERS PER TABLE 5 THROUGH 5C OF INSTALLATION MANUAL

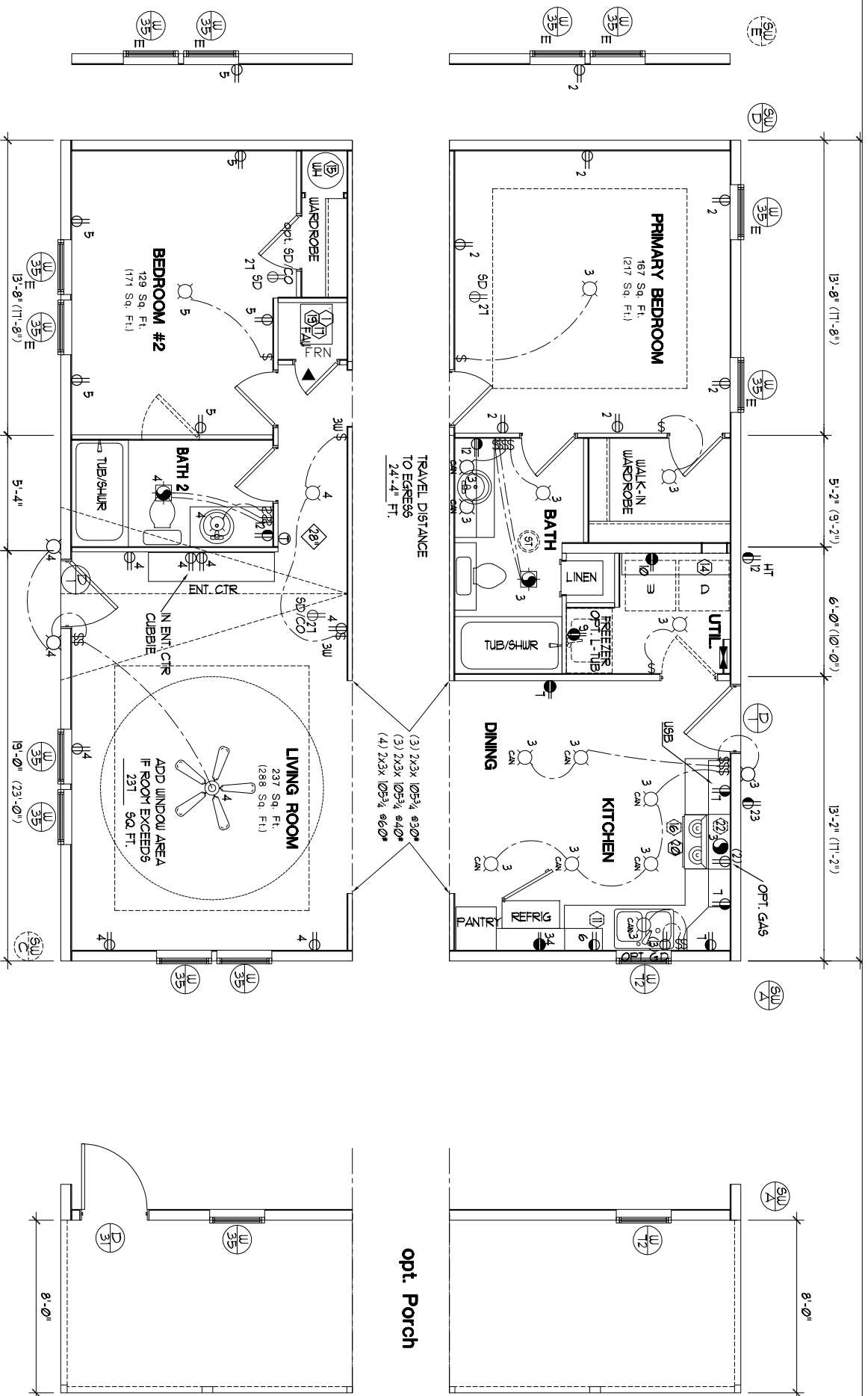
PIERS REQ'D. FOR 30# ROOF & HIGHER SEE TABLE 7B OR 7C OF INSTALLATION MANUAL FOR SPACING AND LOADING

1. CENTERLINE PIERS MUST BE LOCATED UNDER RIDGE BEAM SUPPORT POSTS.

SET-UP NOTES:

2. THE STANDARD CONFIGURATION OF THIS HOME MAY HAVE BEEN MODIFIED. A CUSTOM PRINT SHOULD BE PROVIDED. IF NOT, THE SET-UP CONTRACTOR SHALL CALL CMH MANUFACTURING WEST FOR A CUSTOM PIER PRINT.

EXHIBIT D



LEGEND

- (SW) - SHEAR WALL
- (W) - WINDOW PER INFO PER DOOR SCHED.
- (D) - WINDOW & DOOR SCHED.
- (W) - WATER INLET
- (G) - GAS INLET
- (S) - SEWER OUTLET
- (D) - DRYER VENT
- (E) - EGRESS WINDOW
- (f) - OPTION CIRCUIT INFO. PER DWG. 4.4
- (I) - INCANDESCENT LIGHT
- (E) - EXHAUST FAN
- (M) - MAIN ELECTRICAL PANEL BOX
- (T) - THERMOSTAT LOCATED PER CODE
- (J) - J-BOX
- (R) - 15 AMP RECEPTACLE
- (20) - 20 AMP RECEPTACLE
- (S) - WALL SWITCH
- (HT) - HEAT TAPE
- (HT) - GFI RECEPTACLE
- (SD) - SMOKE DETECTOR (WALL OR CEILING)
- (SD/CO) - SD/CO COMBO W/ FUEL BURNING APPL.
- (GD) - GARBAGE DISPOSAL
- (R) - GFI RECEPTACLE (15 OR 20 AMP)
- (12) - GFI RECEPTACLE (20 AMP)
- (R) - RETURN AIR PER LIGHT REQUIREMENTS
- (4x10") - 4"x10" ADU. - FLOOR REGISTER DOWN/LOW
- (28) - 28" MINIMUM CLEARANCE REQUIRED
- (F) - FLUORESCENT LIGHT
- (L) - LIGHT/ FAN COMBO

A - UNIT

B - UNIT

Model # INS 382F	Roof Pitch	Wind Speed	Wind Dir.	Wind Vel.	Wind Dir.	Wind Vel.	Wind Dir.	Wind Vel.
13/12	13.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
12/12	12.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
11/12	11.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
10/12	10.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
9/12	9.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
8/12	8.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
7/12	7.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
6/12	6.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
5/12	5.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
4/12	4.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
3/12	3.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
2/12	2.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0
1/12	1.0	117.0	117.0	117.0	117.0	117.0	117.0	117.0

- ### 60# STRUCTURAL NOTES
- ROOF DESIGN LOAD: 20 P.S.F. AND 40 P.S.F.
 - MAXIMUM RIDGE BEAM SPAN: FOR 60 P.S.F. ROOFS SHALL BE 20'-0" PER STRUCT.DWG. 98.03.1
 - MAXIMUM RIDGE BEAM SPAN: FOR 40 P.S.F. ROOFS SHALL BE PER STRUCT.DWG. 98.03.1
 - INTERIOR BEARING WALLS PER 98.04
 - INTERIOR BEARING WALLS PER 98.04

THERMAL & HEAT NOTES

CAPACITY OF AIR COOLING SUPPLY DUCT SYSTEM	REGISTER SPLIT:	TOTAL BTUH:
THERMAL ZONE II	2/2 2/1	37,700
THERMAL ZONE III		194
HEAT LOSS RUN NO. -	MAX. GLAZING: -	HEAT LOSS RUN NO. 34
HEAT LOSS RUN NO. -	MAX. GLAZING: -	HEAT LOSS RUN NO. 335

- ### GENERAL NOTES
- FLOOR PLAN MAY BE CONSTRUCTED IN A SIDE TO SIDE REVERSE TO THAT SHOWN.
 - 90° OR 96° NOMINAL SIDEWALL HEIGHT UNLESS NOTED OTHERWISE
 - CERT. LABELS, SERIAL NUMBERS, ETC. TO BE RELOCATED PER CODE REQUIREMENTS.

- ### LEGEND NOTES:
- ANY ABOVE SYMBOL MAY BE SHOWN DASHED INDICATING IT AS OPT.
 - BRANCH CIRCUIT NO. PER ELEC. 4-3

Manufacturing West, Inc.
 Albany Division - Plant #972
 2445 S.W. PACIFIC BLVD.
 ALBANY, OR 97321
 Phone (541) 926-8631
 Fax (866) 491-6847

DRAWING TITLE: **ELECTRICAL SCHEMATIC & APPROVAL FLOOR PLAN**

ORIGINAL DRAWING BY: G. LUND

SIDEWALL: 4" OR 6"

PRODUCT: Inspiration

MODEL NO.: **INS 382F**

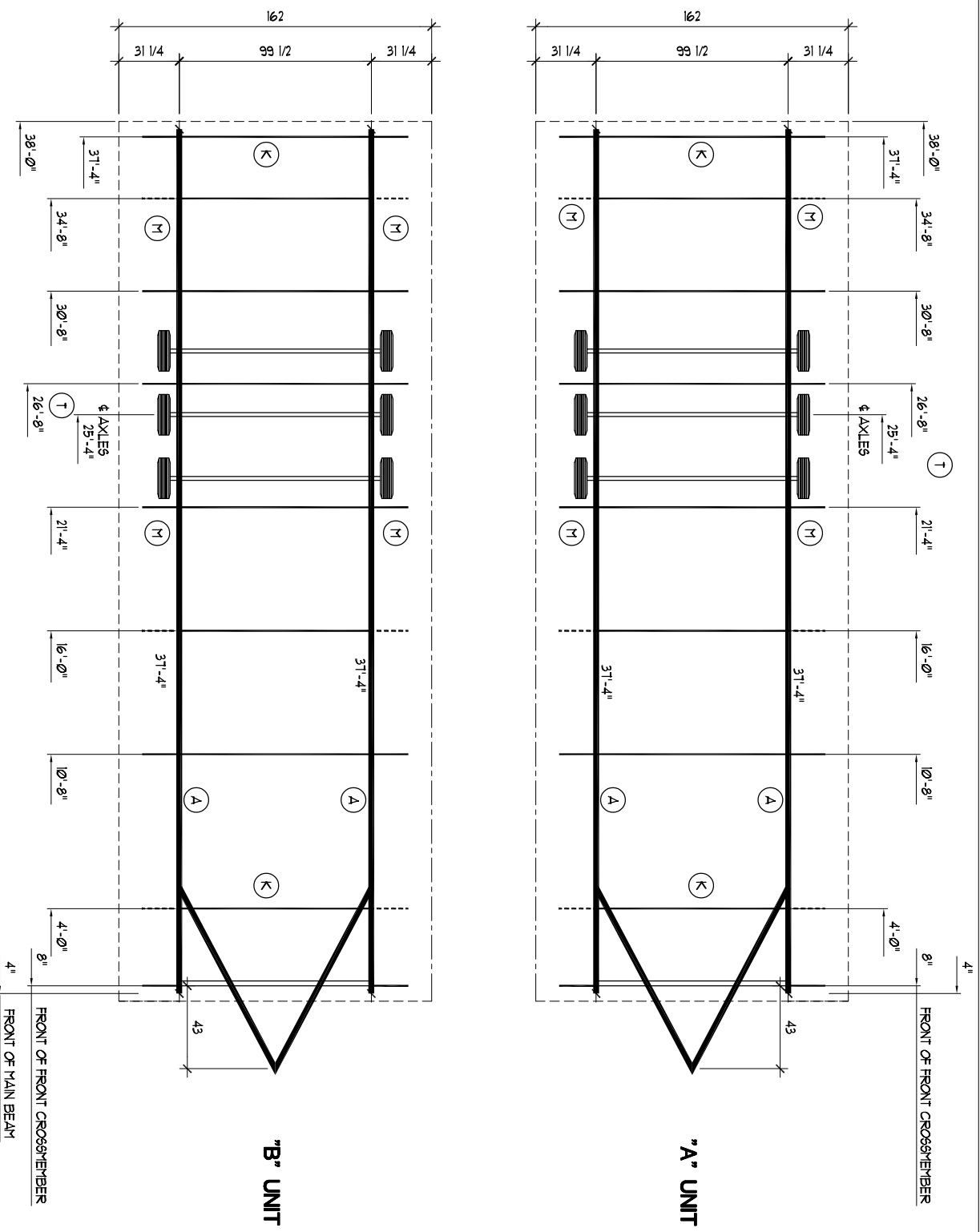
SO. FT.: 1,026

DATE: 1-8-15

SHEET: **1-A3**

REVISED: 7-30-20

EXHIBIT D



CHASSIS W/ PORCH ON 1-B5

TRANSVERSE CHASSIS LEGEND

- A - MAIN BEAM - 8" X 6.5 B/F/I
- B - MAIN BEAM - 10" X 9.0 B/F/I
- C - MAIN BEAM - 12" X 10.8 B/F/I
- D - MAIN BEAM - 12 1/2" X 12.4 B/F/I
- E - FRONT CROSSMEMBER - 2 GA. - 2 8 1/4" X 100" (H:-10'-13'-6" WIDE)
- F - FRONT CROSSMEMBER - 2 GA. - 2 8 1/4" X 100" (H:-10'-13'-6" WIDE)
- G - FRONT CROSSMEMBER - 2 GA. - 2 10 1/4" X 100" (H:-10'-13'-6" WIDE)
- H - FRONT CROSSMEMBER - 2 GA. - 2 10 1/4" X 100" (H:-10'-13'-6" WIDE)
- I - FRONT CROSSMEMBER - 2 GA. - 2 12 1/4" X 100" (H:-10'-13'-6" WIDE)
- J - FRONT CROSSMEMBER - 2 GA. - 2 12 1/4" X 100" (H:-10'-13'-6" WIDE)
- K - CROSSMEMBER - 1/8" - ANGLE 2" X 2" X 99 3/8"
- L - OUTRIGGER - 13 GA. - 1 1/2" X 12" (H:-10" WIDE KARSTEN)
- M - OUTRIGGER - 13 GA. - 1 1/2" X 12" (H:-10" WIDE)
- N - OUTRIGGER - 13 GA. - 1 1/2" X 12" (H:-10" WIDE KARSTEN)
- O - OUTRIGGER - 13 GA. - 1 1/2" X 12" (H:-10" WIDE)
- P - OUTRIGGER - 13 GA. - 1 1/2" X 12" (H:-10" WIDE)
- Q - OUTRIGGER - 13 GA. - 1 1/2" X 12" (H:-10" WIDE)
- R - UNDER CARRIAGE ASSY. - TANDEM AXLE - 1 BRAKING
- S - UNDER CARRIAGE ASSY. - TANDEM AXLE - 2 BRAKING
- T - UNDER CARRIAGE ASSY. - TRIPLE AXLE - 2 BRAKING (I) DLEP
- U - UNDER CARRIAGE ASSY. - QUAD AXLE - 2 BRAKING (I) DLEP
- V - UNDER CARRIAGE ASSY. - QUAD AXLE - 2 BRAKING (I) DLEP
- W - UNDER CARRIAGE ASSY. - SEXTPL AXLE - 2 BRAKING (I) DLEP
- X - MATING ANGLE - DETAIL PER STRUCT. DWG. 92.00 "C"
- Y - AIR RETURN CROSSOVER MEMBER - 1/8" X 2" X 2" STEEL ANGLE

NOTES:

1. CHASSIS AND HITCH DETAILS PER STRUCT. DWG. 92.00
2. FLOOR OVERHANG DETAIL PER STRUCT. DWG. 93.02-B
3. GW HITCH PER 92.06 / KARSTEN HITCH PER 208.20

NOTE: TRIPLE WIDE CENTER SECTIONS AND 4:12 30 WIDES MUST HAVE UNDER-SLUNG AXLES AND EQUALIZERS

ALL HOUSES WITH 12" BEAM MUST HAVE UNDER-SLUNG AXLES.

HOUSES WITH 9' SIDEWALLS AND 2X8 FLOOR JOISTS WITH 10" BEAM AND EQUALIZERS MUST HAVE UNDER-SLUNG AXLES.

Manufacturing West, Inc.
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CHASSIS PLAN

DRAWING TITLE

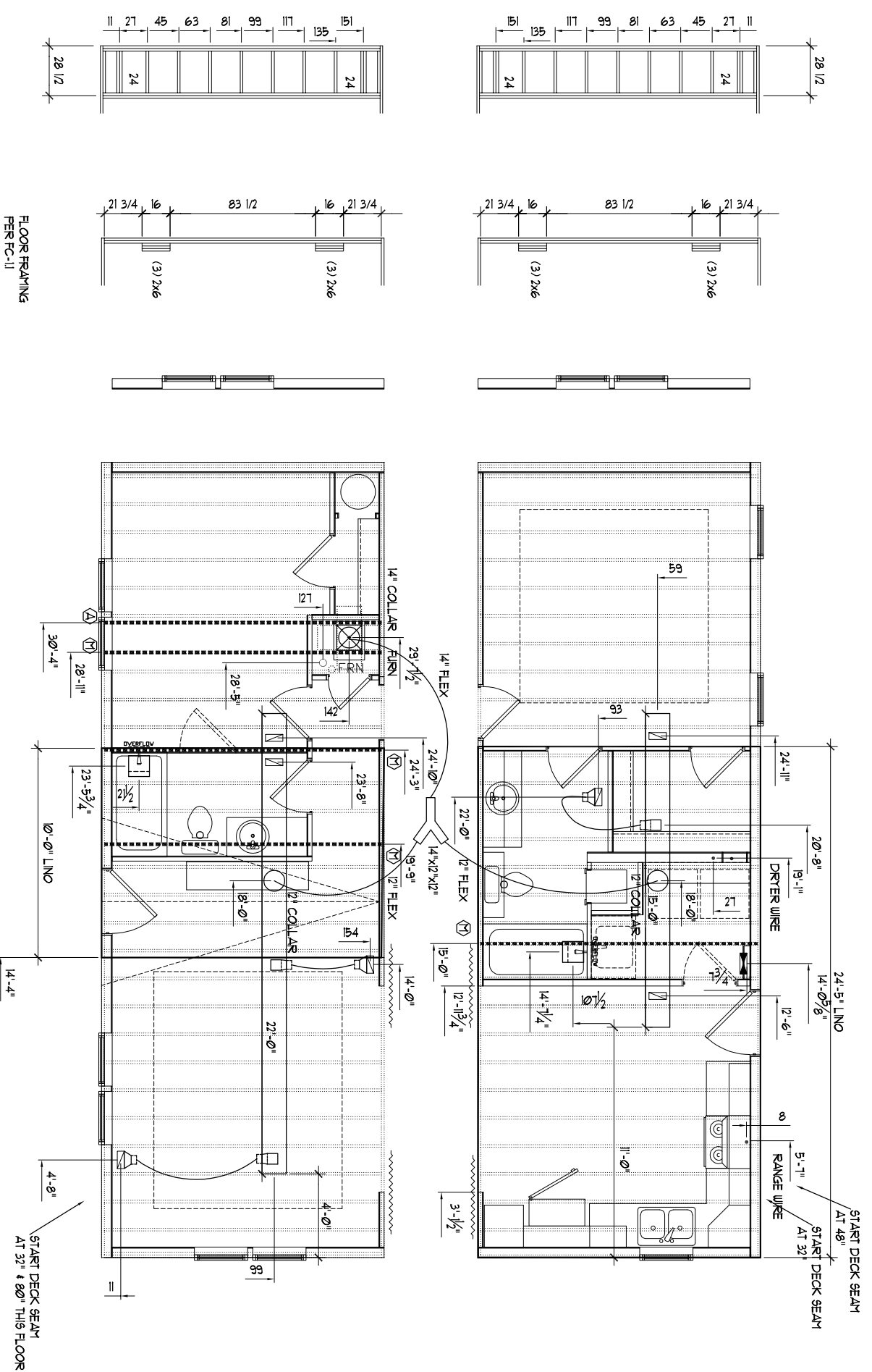
ORIGINAL DRAWING BY : -
 SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT MODEL NO.
 Inspiration **INS 382F**

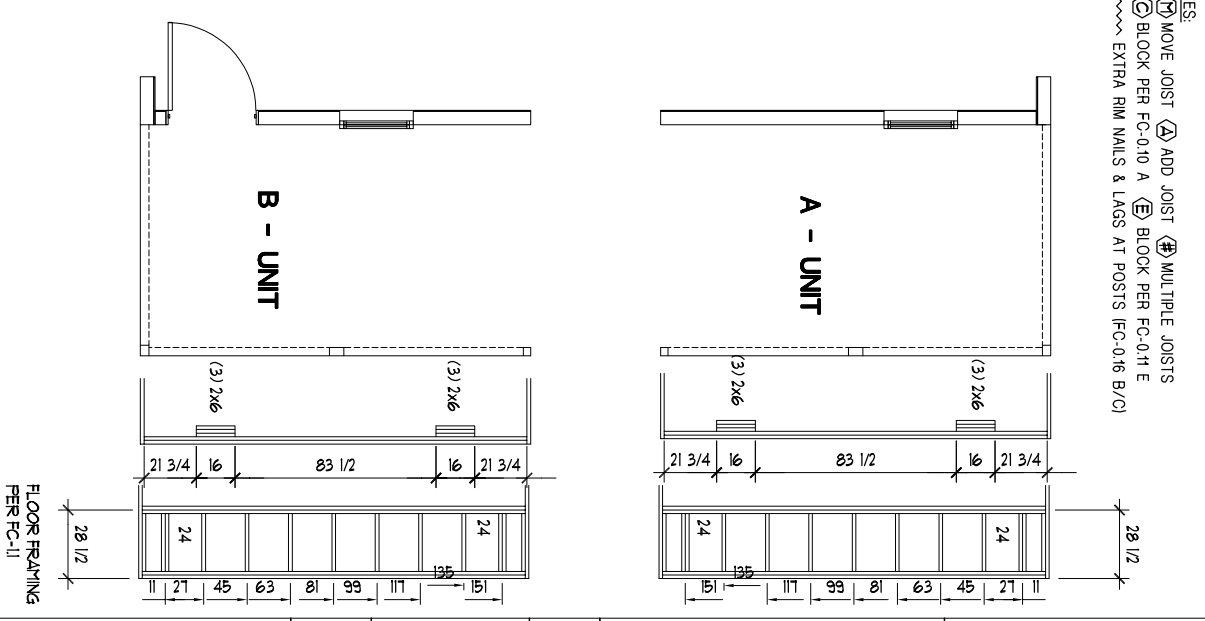
SQ. FT. DATE
 1,026 1-8-15

SHEET REVISED
1-45 07-13-15

EXHIBIT D



- NOTES:
- (M) MOVE JOIST (A) ADD JOIST (M) MULTIPLE JOISTS
 - (C) BLOCK PER FC-010 A (E) BLOCK PER FC-011 E
 - ~~~~~ EXTRA RIM NAILS & LAGS AT POSTS (FC-016 B/C)



OPT. FLEX INFO

WYES
14" x 12" x 12"

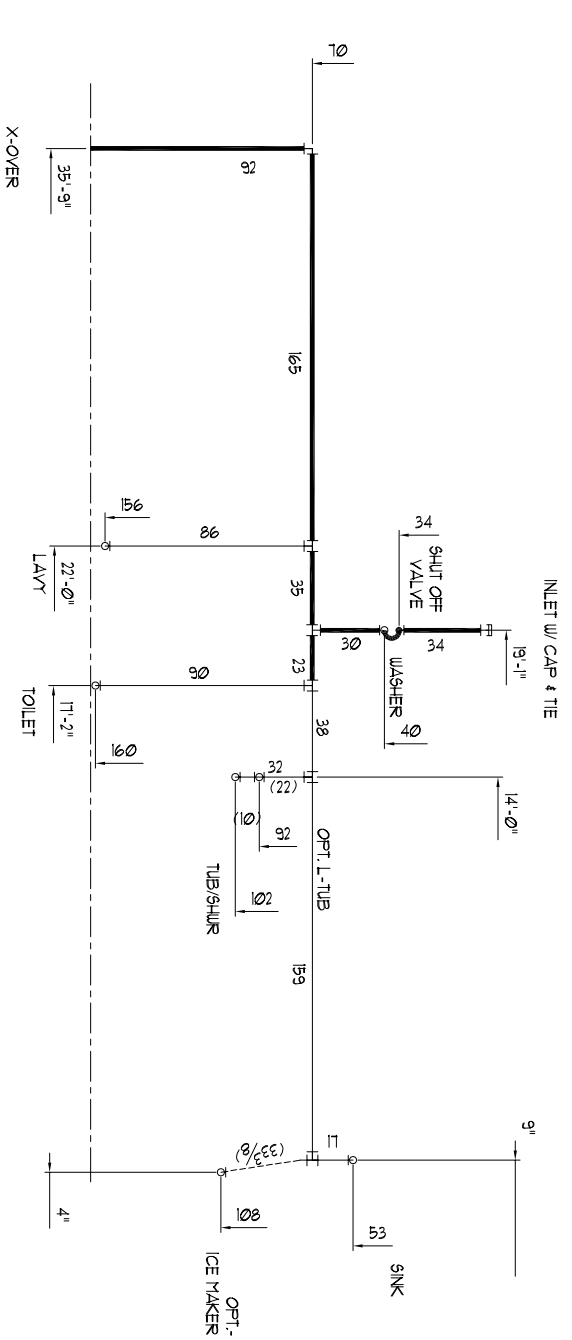
STD. FLEX DUCT
14" FLEX
10'-0"
12" FLEX
25'-0"
8" FLEX
-
6" FLEX
0' = 0"

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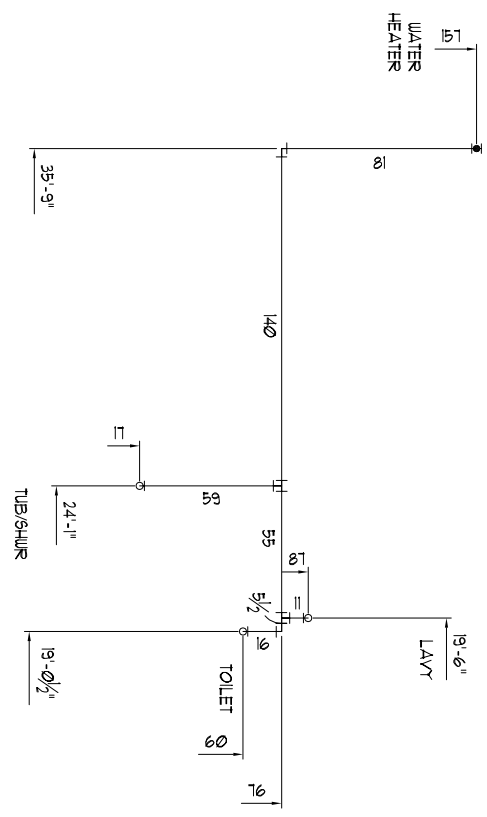
DRAWING TITLE
FLOOR & HEAT DUCT
 ORIGINAL DRAWING BY : -
 SIDEWALL: 4" OR 6"
6" WALLS

PRODUCT	Inspiration	MODEL NO.	INS 382F
SQ. FT.	1,026	DATE	1-8-15
SHEET	1-A6	REVISED	5-9-19

EXHIBIT D



A - UNIT



B - UNIT

PIPE LEGEND

- 3/4"
- 1/2"
- 1/2" RISER
- 3/4" RISER

PIPE DIMS ARE TO CENTER OF FITTING. ADJUST LENGTH PER FITTING.

Manufacturing West, Inc.
 Albany Division - Plant #972
 2445 S.W. PACIFIC BLVD.
 ALBANY, OR 97321
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 Fax (866) 491-6847

COLD WATER LINES

DRAWING TITLE
 ORIGINAL DRAWING BY :
 SIDEWALL: 4" OR 6" **6" WALLS**

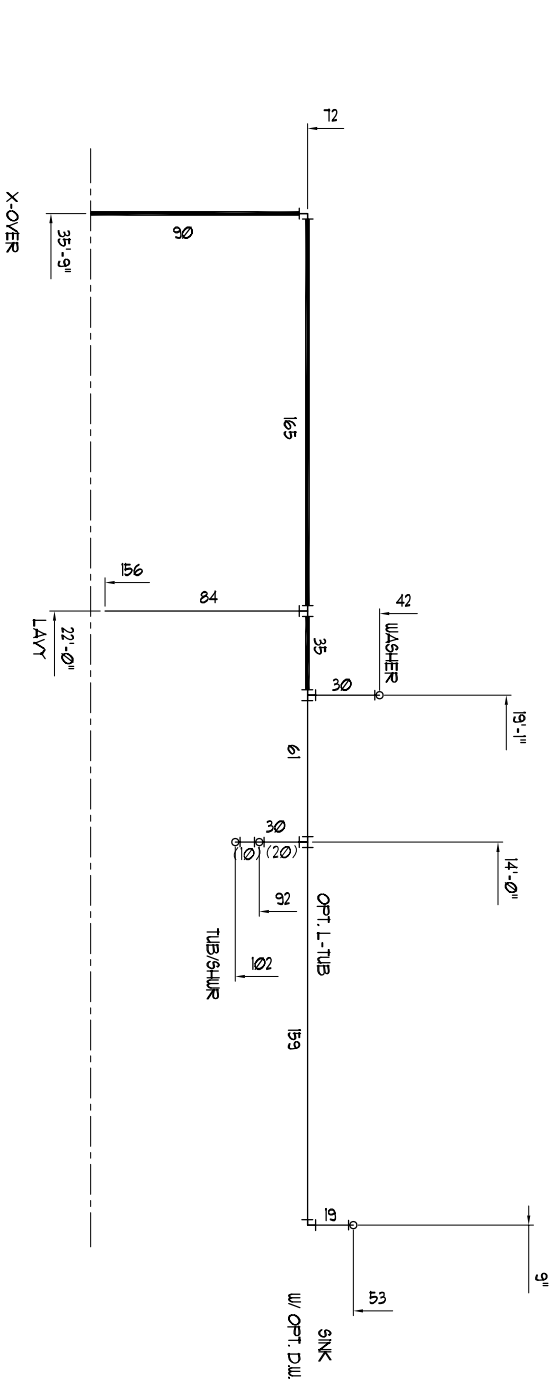
PRODUCT MODEL NO.
 Inspiration **INS 382F**

SQ. FT. DATE
 1,026 1-8-15

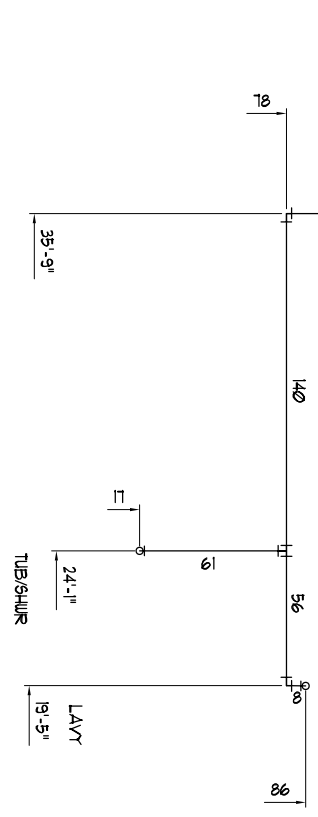
SHEET REVISED
1-A7-A 5-7-18 GL

WHOLE HOUSE SHUT-OFF VALVE

EXHIBIT D



A - UNIT



B - UNIT

PIPE DIMS ARE TO CENTER OF FITTING. ADJUST LENGTH PER FITTING.

- PIPE LEGEND**
- 3/4"
 - 1/2"
 - 1/2" RISER
 - 3/4" RISER

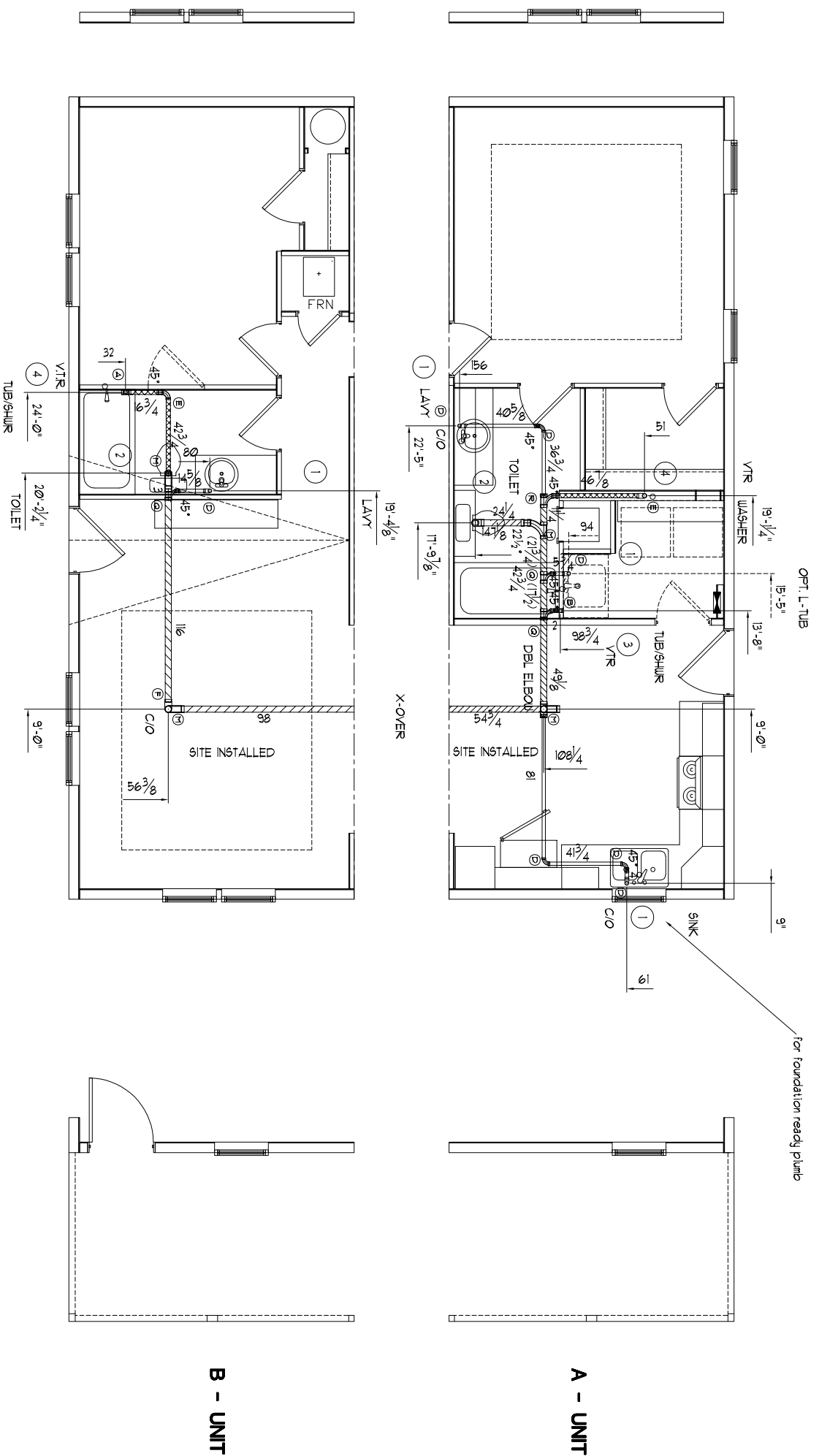
Manufacturing West, Inc.
 Albany Division - Plant #972
 2445 S.W. PACIFIC BLVD.
 ALBANY, OR 97321
 Phone (541) 926-8631
 Fax (866) 491-6847

HOT WATER LINES

6" WALLS

PRODUCT	Inspiration	MODEL NO.	INS 382F
SQ. FT.	1,026	DATE	1-8-15
SHEET	1-48	REVISED	5-7-18 GL

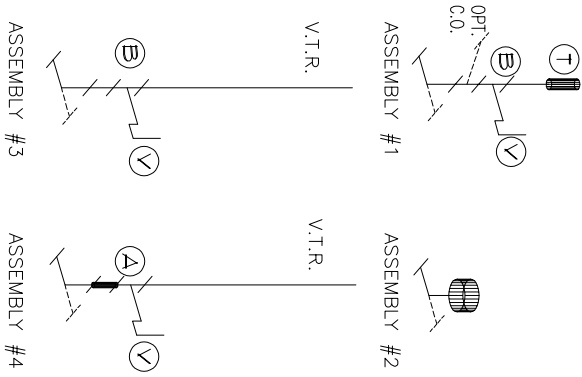
EXHIBIT D



TRANSVERSE PIPE LEGEND
 1 1/2" PIPE
 2" PIPE
 3" PIPE

LEGEND

ELEVATIONS OF TYPICAL ASSEMBLIES
 1) TRAP ARM CAN BE ROTATED
 2) FITTINGS AT BASE OF VERTICAL PIPE TO BE SHOWN ON PLAN



SYMBOL	DESCRIPTION
A	2"x1 1/2"x1 1/2" SAN TEE
B	1 1/2"x2" SAN TEE
C	3"x3"x2" SAN TEE
D	1 1/2"x90° XLT ELBOW
E	2" 90° XLT ELBOW
F	3" 90° XLT ELBOW
G	1 1/2"x45° XLT ELBOW
H	1 1/2"x3" PIPE INCREASER
J	2"x3" PIPE INCREASER
K	1 1/2" LTTY SINGLE
L	2" LTTY SINGLE
M	3" LTTY SINGLE
N	2"x1 1/2"x1/2" LTTY SINGLE
O	2"x2"x1 1/2" LTTY SINGLE
P	3"x3"x1 1/2" LTTY SINGLE
Q	3"x3"x2" LTTY SINGLE
R	2"x3"x2" LTTY SINGLE
S	2"x3"x2" LTTY SINGLE
T	MECHANICAL VENT
U	2"x1 1/2"x1 1/2" DBL. FIX. FTG.
V	1 1/2" F-TRAP CLEANOUT COUPLER
W	CONTINUOUS FITTING

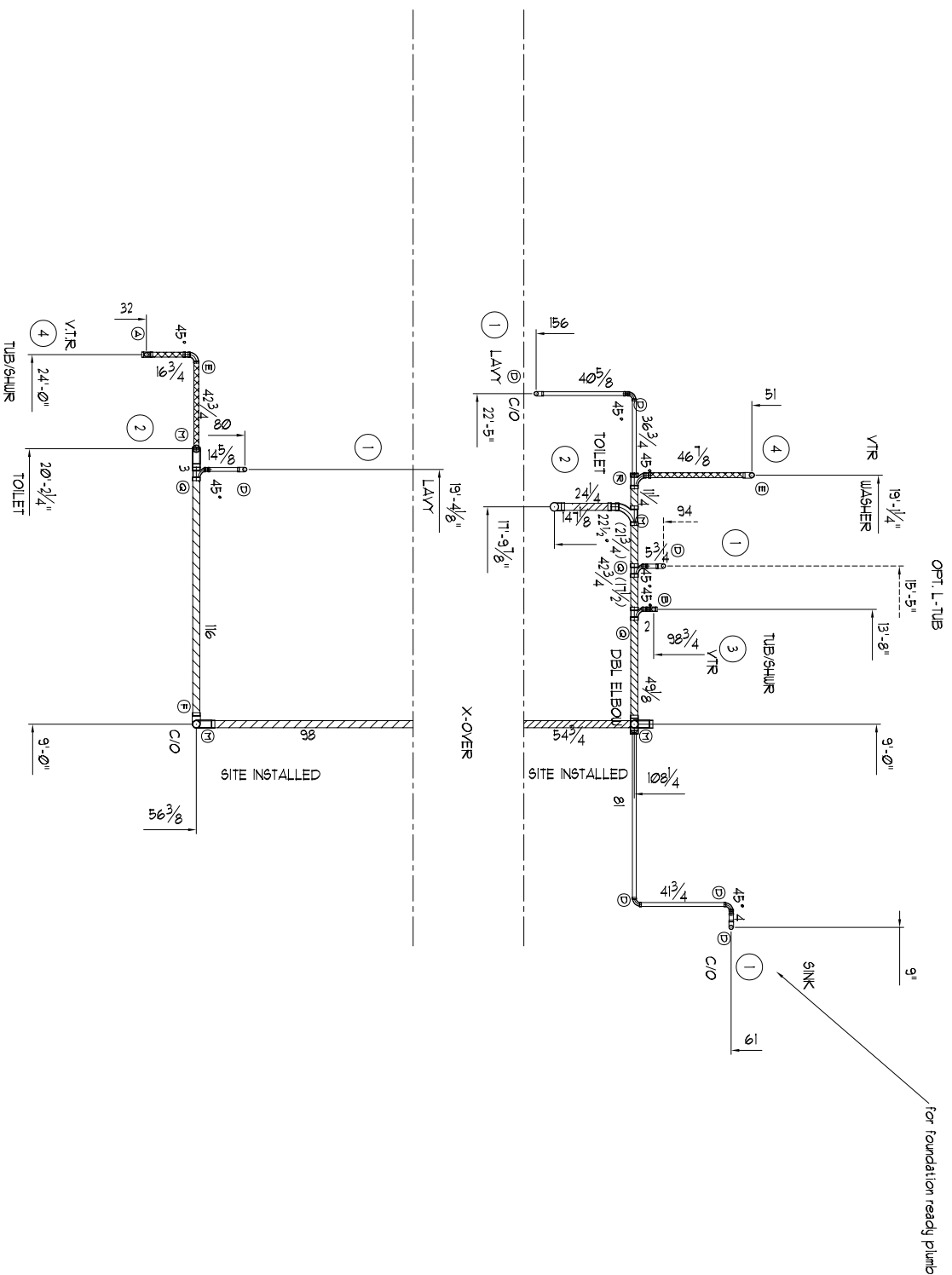
Manufacturing West, Inc.
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 2445 S.W. PACIFIC BLVD.
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WASTE LINES PLAN

ORIGINAL DRAWING BY :
 SIDEWALL: 4" OR 6"
6" WALLS

PRODUCT	Inspiration	MODEL NO.	INS 382F
SQ. FT.	1,026	DATE	1-8-15
SHEET	1-A9	REVISED	5-7-18 GL

EXHIBIT D



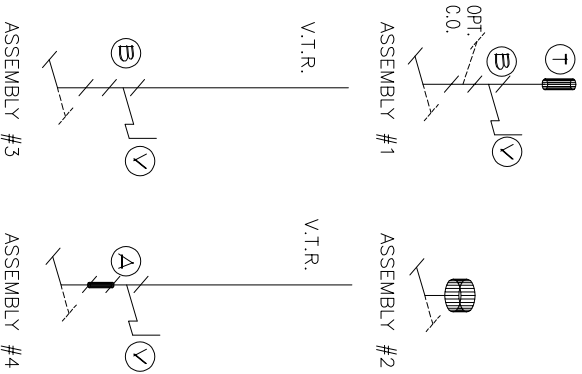
A - UNIT

B - UNIT

TRANSVERSE PIPE LEGEND
 1 1/2" PIPE
 2" PIPE
 3" PIPE

LEGEND

- ELEVATIONS OF TYPICAL ASSEMBLIES
 1) TRAP ARM CAN BE ROTATED
 2) FITTINGS AT BASE OF VERTICAL PIPE TO BE SHOWN ON PLAN



SYMBOL	DESCRIPTION
A	2"x1 1/2"x1 1/2" SAN TEE
B	1 1/2"x1 1/2" SAN TEE
C	3"x3"x2" SAN TEE
D	1 1/2"x2" 90° XLT ELBOW
E	2" 90° XLT ELBOW
F	3" 90° XLT ELBOW
G	1 1/2"x3" 45° XLT ELBOW
H	1 1/2"x3" PIPE INCREASER
J	2"x3" PIPE INCREASER
K	1 1/2" LTTY SINGLE
L	2" LTTY SINGLE
M	3" LTTY SINGLE
N	2"x1 1/2"x1 1/2" LTTY SINGLE
O	2"x2"x1 1/2" LTTY SINGLE
P	3"x3"x1 1/2" LTTY SINGLE
Q	3"x3"x2" LTTY SINGLE
R	2"x3"x2" LTTY SINGLE
S	2"x3"x2" LTTY SINGLE
T	MECHANICAL VENT
U	2"x1 1/2"x1 1/2" DBL. FIX. FTG.
V	1 1/2" F-TRAP CLEANOUT COUPLER
W	CONTINUOUS FITTING

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WASTE LINES PLAN

DRAWING TITLE

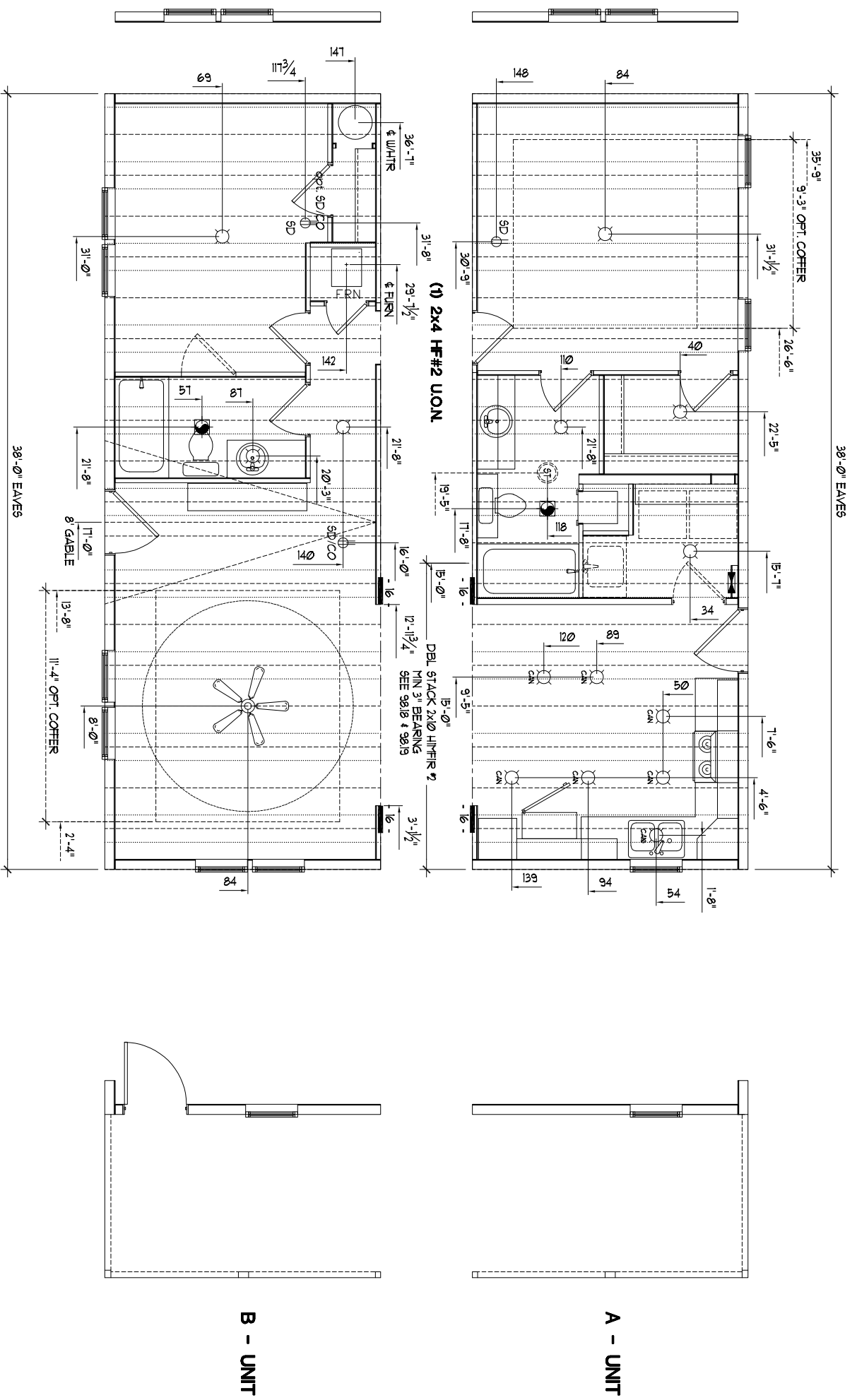
SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT **Inspiration** MODEL NO. **INS 382F**

SQ. FT. 1,026 DATE 1-8-15

SHEET **1-A9** REVISED 5-7-18 GL

EXHIBIT D



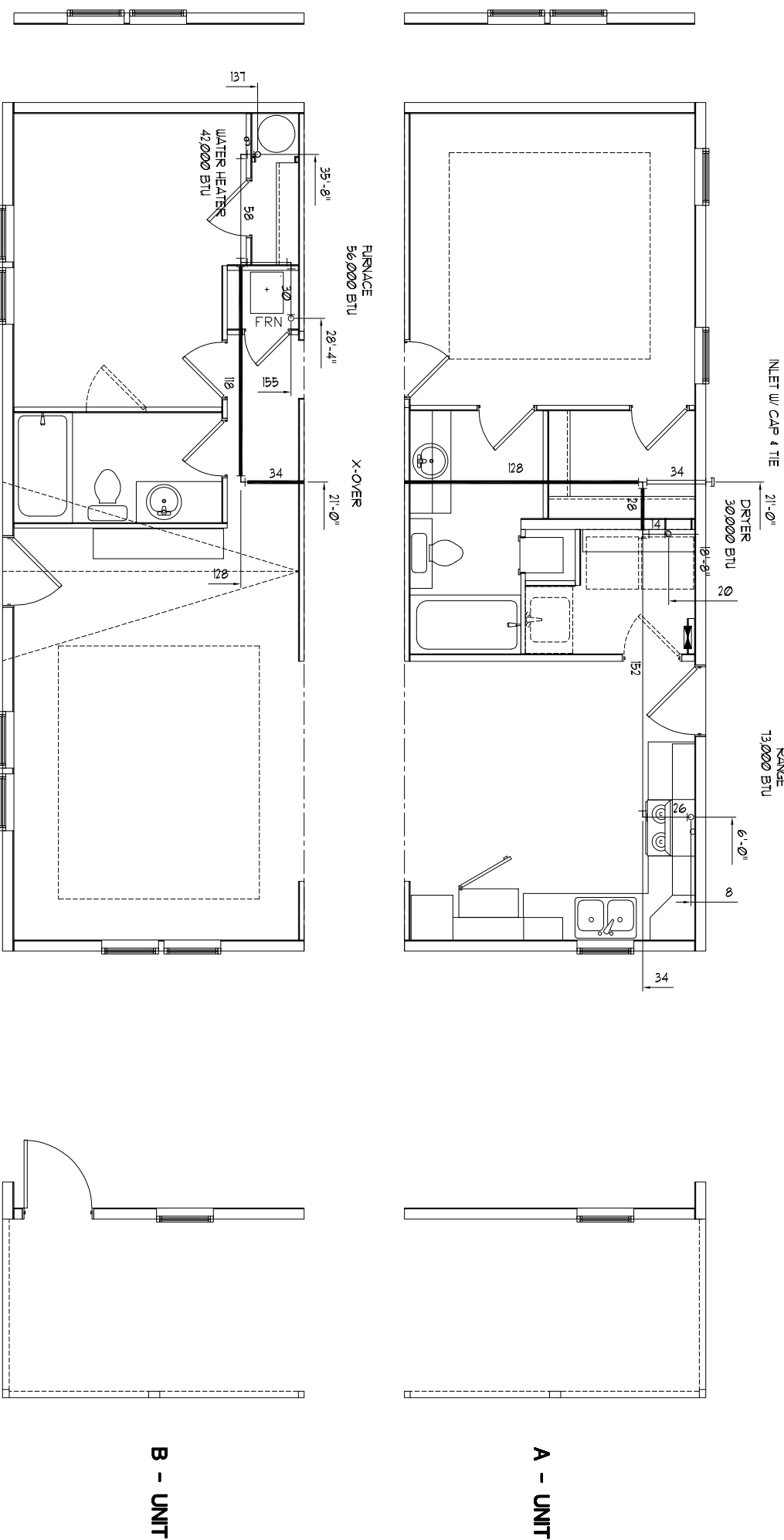
Manufacturing West, Inc.
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ROOF/CEILING DETAILS

6" WALLS

PRODUCT	Inspiration	MODEL NO.	INS 382F
SQ. FT.	1,026	DATE	1-8-15
SHEET	1-A11	REVISED	7-30-20

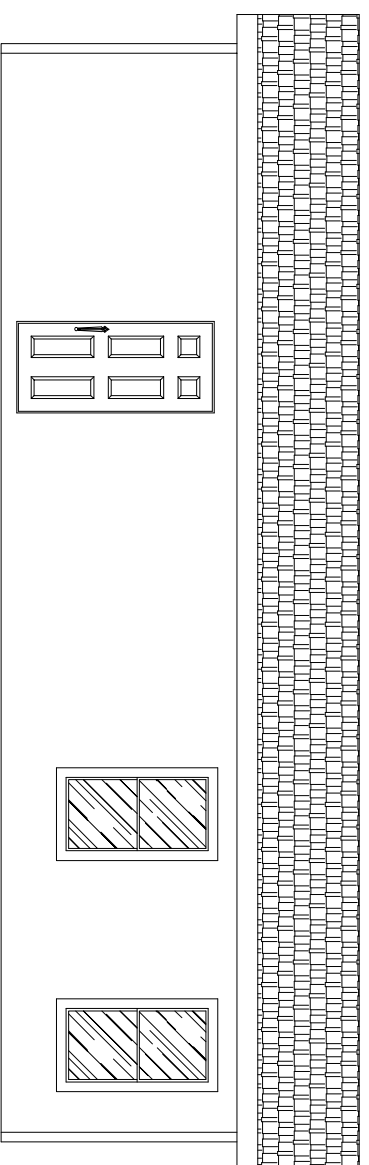
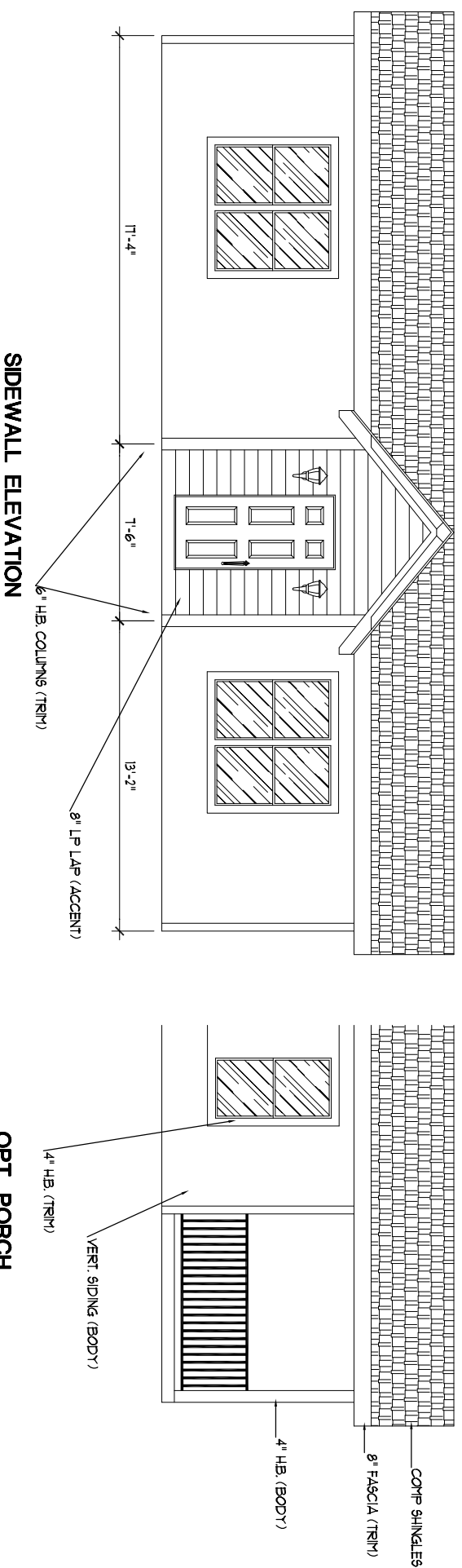
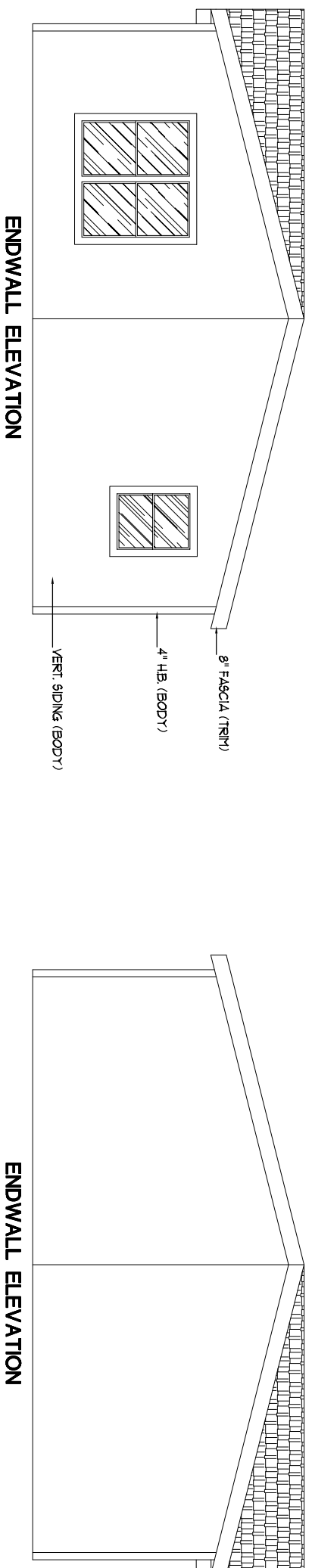
EXHIBIT D



RUN = 40'-0" MAX. BTU = 201,000

<p>3/4" MIN. INLET REQ'D</p> <p>PIPE LEGEND</p> <ul style="list-style-type: none"> ===== 1" ===== 3/4" ===== 1/2" ○ 1/2" RISER ● 3/4" RISER 	
<p>Manufacturing West, Inc. Albany Division - Plant #972 2445 S.W. PACIFIC BLVD. ALBANY, OR 97321 Phone (541) 926-8631 Fax (866) 491-6847</p>	
<p>DRAWING TITLE GAS LINES PLAN</p>	
<p>ORIGINAL DRAWING BY : -</p>	
<p>SIDEWALL: 4" OR 6" 6" WALLS</p>	
<p>PRODUCT Inspiration</p>	<p>MODEL NO. INS 382F</p>
<p>SQ. FT. 1,026</p>	<p>DATE 1-8-15</p>
<p>SHEET 1-A10</p>	<p>REVISED 1-20-20</p>

EXHIBIT D



SIDEWALL ELEVATION

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DRAWING TITLE
EXTERIOR ELEVATION

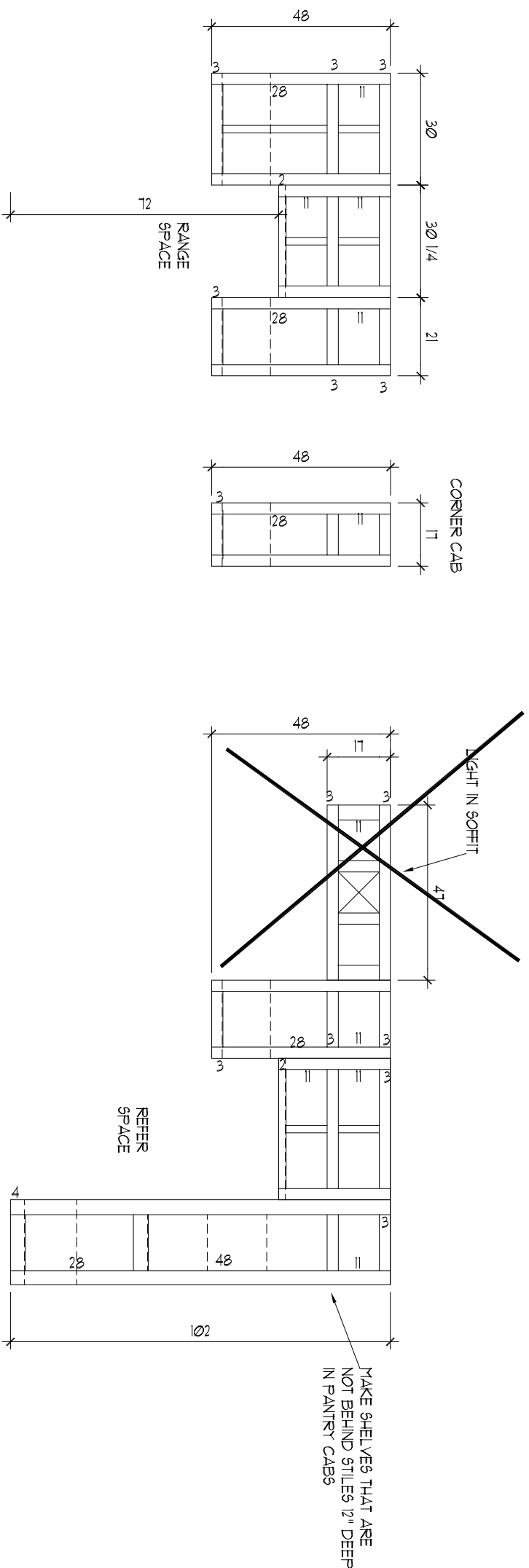
ORIGINAL DRAWING BY : G. LUND

SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT	Inspiration	MODEL NO.	INS 382F
SQ. FT.	1,026	DATE	1-8-15
SHEET	2-4	REVISED	-

EXHIBIT D

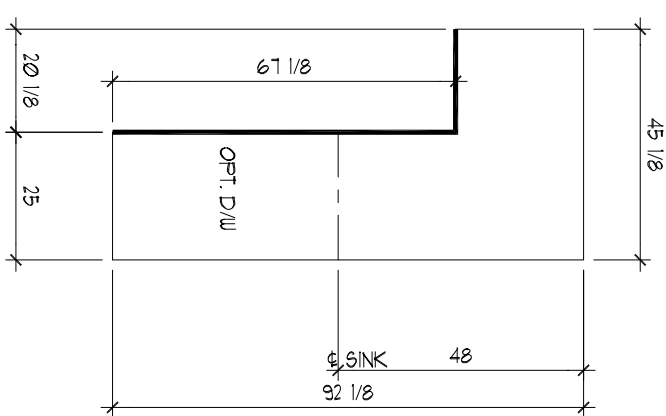
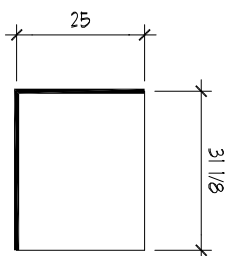
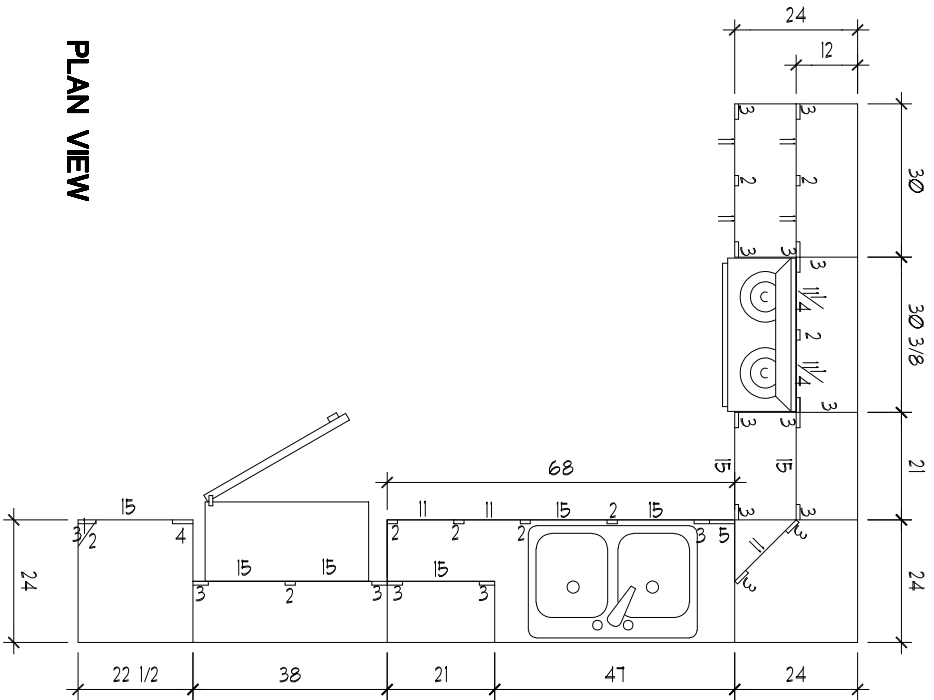
UPGRADE OH CABS



ELEVATION

DRAWERS			
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
DOORS			
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
CABINET TOP LEGEND			
—	SELF-EDGE		
—	FULL RETURN / NO BACKING		
—	RAW EDGE		
—	BACKSPLASH		
Manufacturing West, Inc. Albany Division - Plant #972 2445 S.W. PACIFIC BLVD. ALBANY, OR 97321 Phone (541) 926-8631 Fax (866) 491-6847			
DRAWING TITLE			
KITCHEN CABINETS			
ORIGINAL DRAWING BY : —			
SIDEWALL: 4" OR 6"		6" WALLS	
PRODUCT	Inspiration	MODEL NO.	INS 382F
SQ. FT.		DATE	1-8-15
SHEET	5-4	REVISED	-

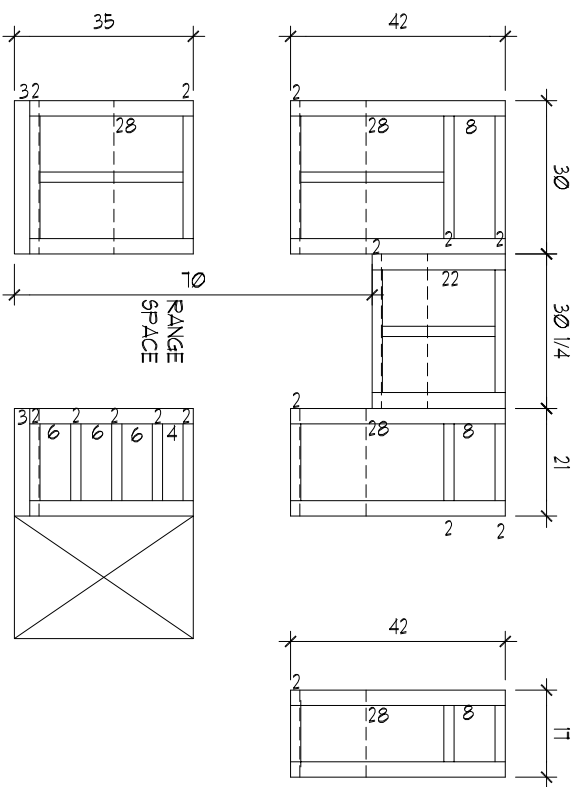
EXHIBIT D



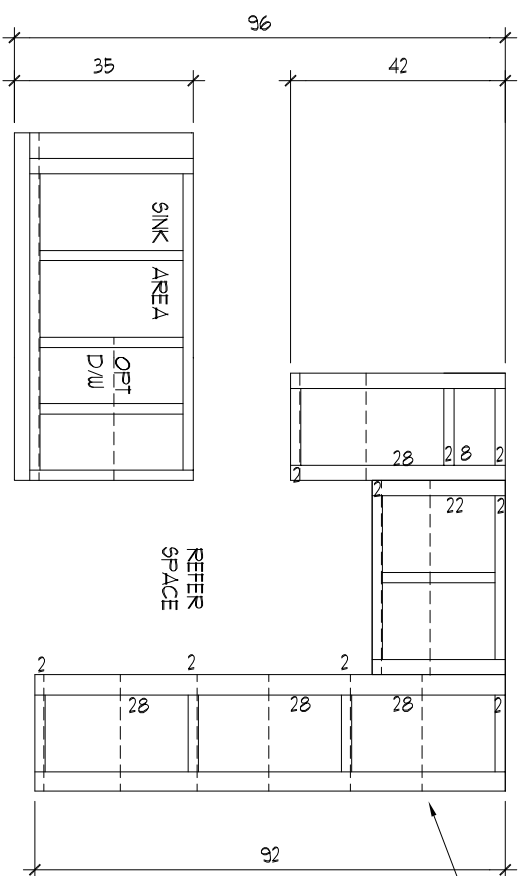
PLAN VIEW

COUNTERTOPS

DRWS OVER DOORS PER ORDER



CORNER CAB



ELEVATION

MAKE SHELVES THAT ARE NOT BEHIND STILES 12" DEEP IN PANTRY CABS

DRAWERS

-	-
-	-
-	-
-	-
-	-

DOORS

-	-
-	-
-	-
-	-
-	-
-	-

CABINET TOP LEGEND

- SELF-EDGE
- FULL RETURN / NO BACKING
- - - RAW EDGE
- BACKSPLASH

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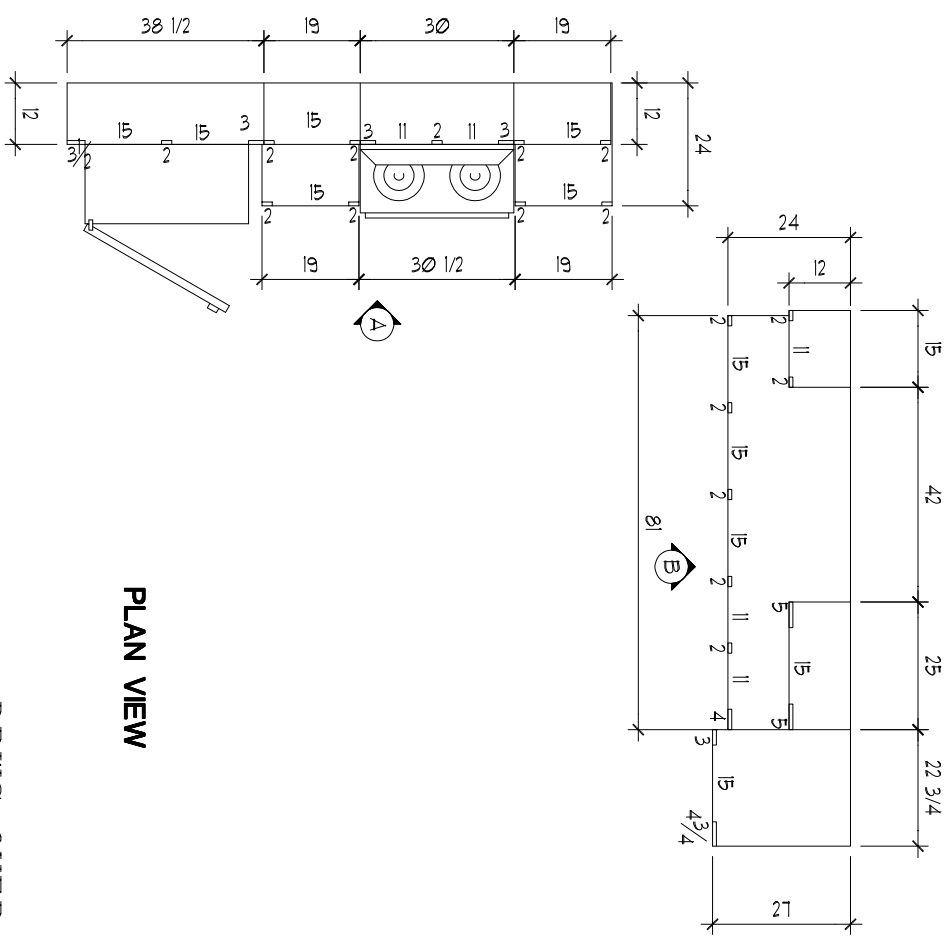
KITCHEN CABINETTS

DRAWING TITLE
 ORIGINAL DRAWING BY :
 SIDEWALL: 4" OR 6" **6" WALLS**

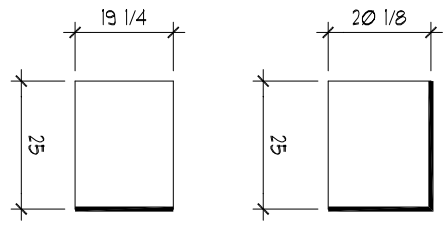
PRODUCT MODEL NO.
 Inspiration **INS 382F**

DATE 1-8-15
 SHEET **5-B** REVISED 12-28-17

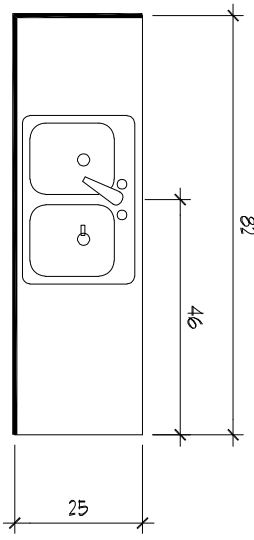
EXHIBIT D



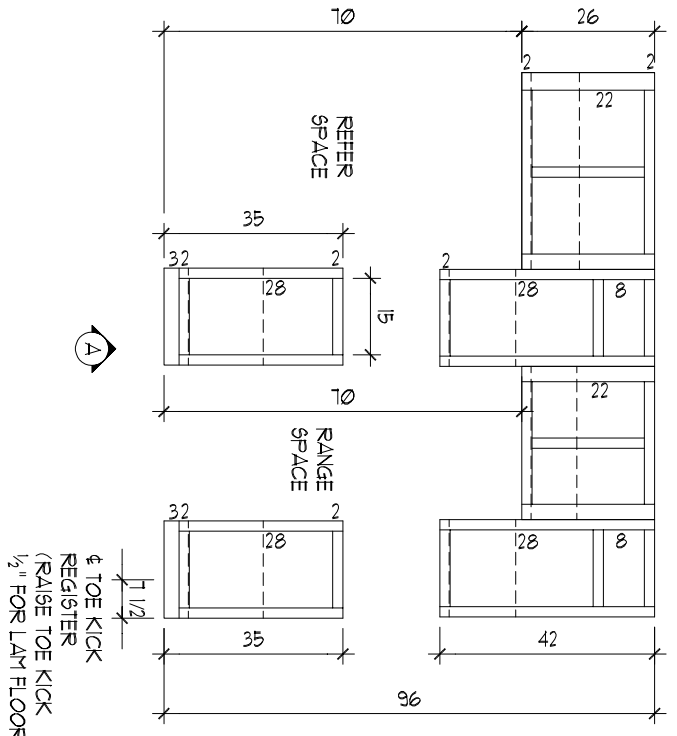
PLAN VIEW



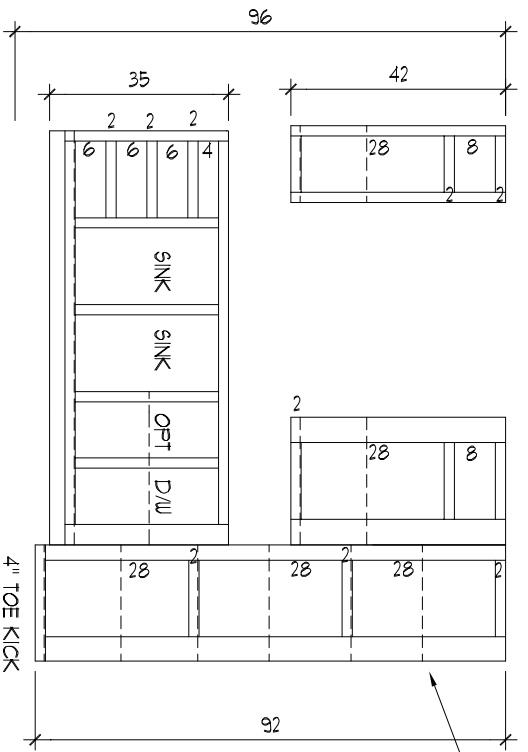
COUNTERTOPS



DRWS OVER DOORS PER ORDER



ELEVATION



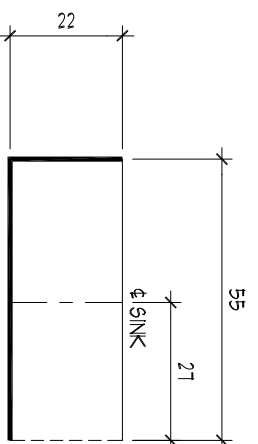
MAKE SHELVES THAT ARE NOT BEHIND STILES 12" DEEP IN PANTRY CABS

<p>Manufacturing West, Inc. Albany Division - Plant #972 2445 S.W. PACIFIC BLVD. ALBANY, OR 97321 Phone (541) 926-8631 Fax (866) 491-6847</p>	
<p>DRAWING TITLE: KITCHEN CABINETS</p>	
<p>ORIGINAL DRAWING BY: G. LUND</p>	
<p>SIDEWALL: 4" OR 6" 6" WALLS</p>	
<p>PRODUCT: Inspiration</p>	<p>MODEL NO.: INS 382F</p>
<p>SQ. FT.:</p>	<p>DATE: 1-8-15</p>
<p>SHEET: 5-C</p>	<p>REVISED: -</p>

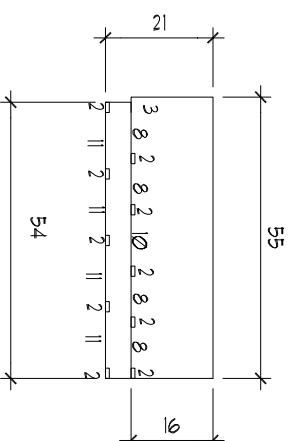
<p>DRAWERS</p>	
-	-
-	-
-	-
-	-
-	-
<p>DOORS</p>	
-	-
-	-
-	-
-	-
-	-

<p>CABINET TOP LEGEND</p>	
—	SELF-EDGE
—	FULL RETURN / NO BACKING
—	RAW EDGE
—	BACKSPLASH

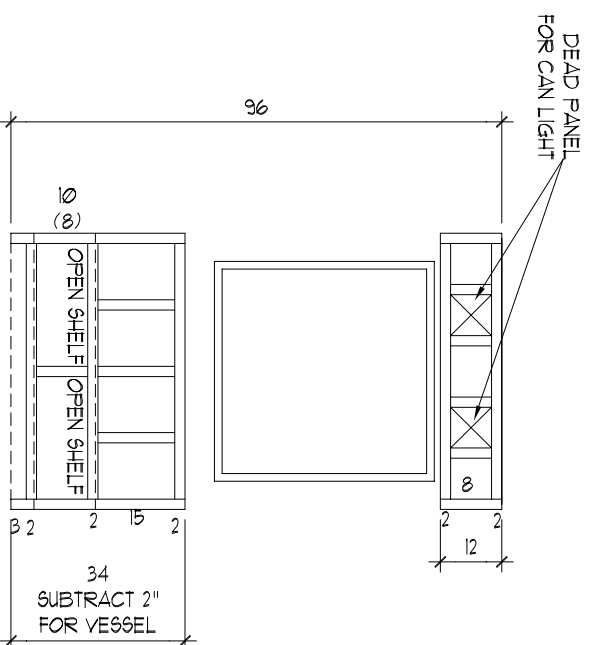
EXHIBIT D



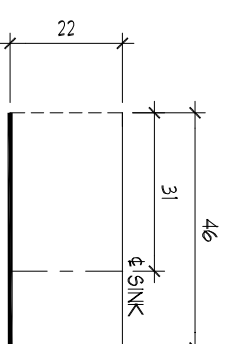
COUNTER TOP



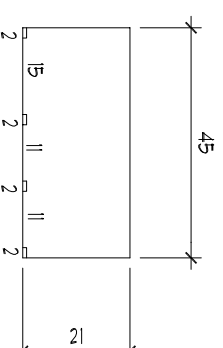
PLAN VIEW



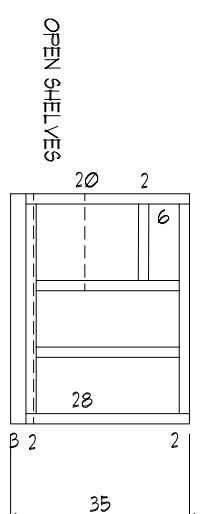
ELEVATION



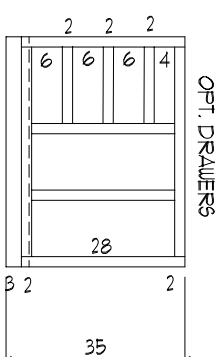
COUNTER TOP



PLAN VIEW



OPEN SHELVES



OPT. DRAWERS

ELEVATION

① DOORS & DRAWERS ② DOORS & DRAWERS

-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
③ DOORS & DRAWERS	④ DOORS & DRAWERS	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

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DRAWING TITLE
LAVY CABINETS

ORIGINAL DRAWING BY : -

SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT MODEL NO.
 Inspiration **INS 382F**

SQ. FT. DATE
 1-8-15

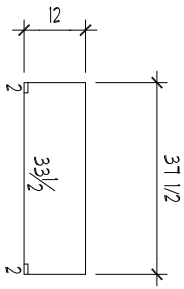
SHEET **7-A** REVISED -

①

②

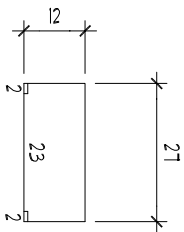
EXHIBIT D

COUNTER TOP

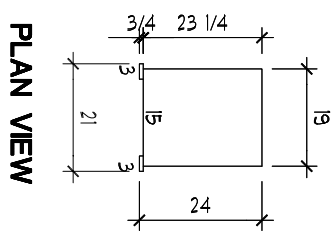


PLAN VIEW

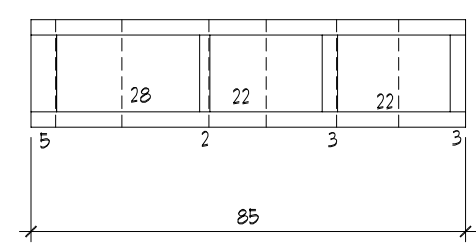
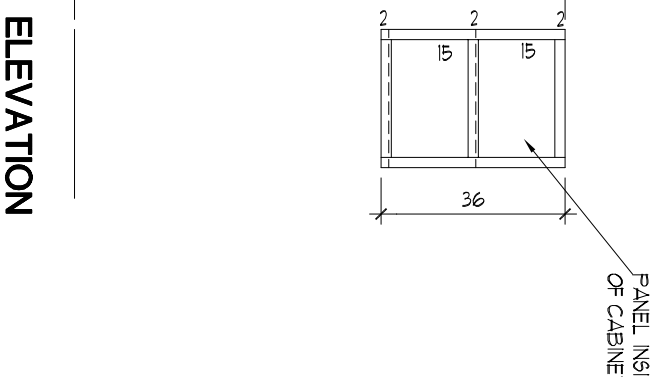
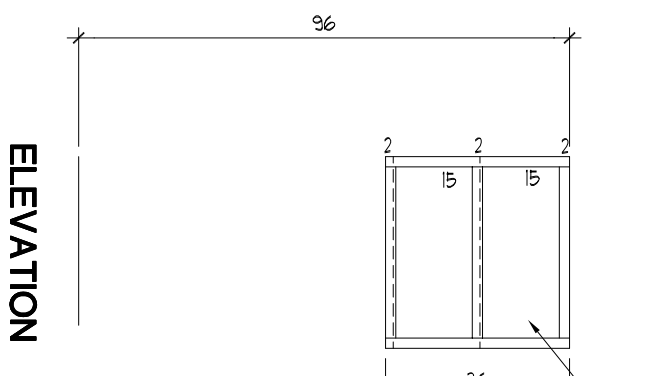
W/SHOWER
COUNTER TOP



PLAN VIEW



PLAN VIEW



ELEVATION

Ⓘ

Ⓙ

Ⓚ

DOORS & DRAWERS	DOORS & DRAWERS
-	-
-	-
-	-
-	-
DOORS & DRAWERS	DOORS & DRAWERS
-	-
-	-
-	-
-	-
-	-

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ALBANY, OR 97321
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Fax (866) 491-6847

DRAWING TITLE: **LINEN CABINETS**

ORIGINAL DRAWING BY : -

SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT MODEL NO.: **INS 382F**

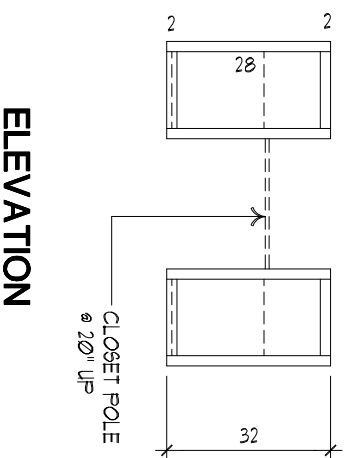
INSPIRATION DATE: 1-8-15

DATE: 1-8-15

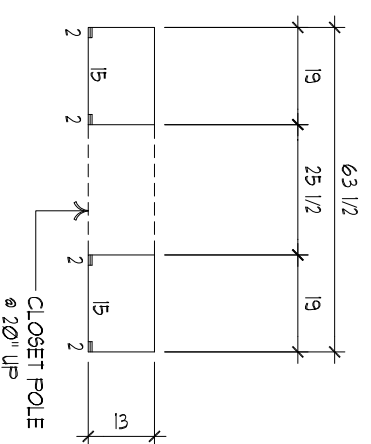
REVISED

SHEET **8-4**

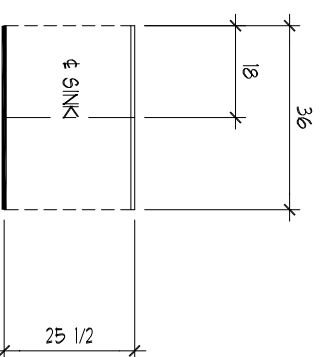
EXHIBIT D



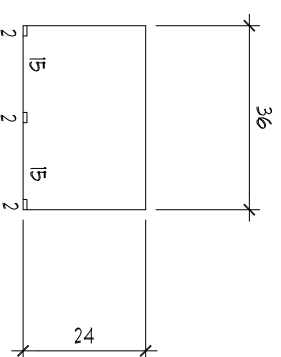
ELEVATION



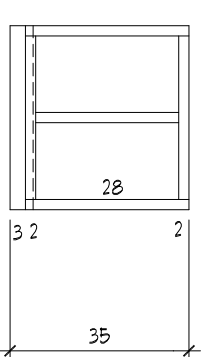
PLAN OF CABINETS



COUNTER TOP



PLAN VIEW



ELEVATION

I

II

① DOORS & DRAWERS	② DOORS & DRAWERS
-	-
-	-
-	-
-	-
-	-
③ DOORS & DRAWERS	④ DOORS & DRAWERS
-	-
-	-
-	-
-	-
-	-

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DRAWING TITLE: *UTILITY CABINETS*

ORIGINAL DRAWING BY : -

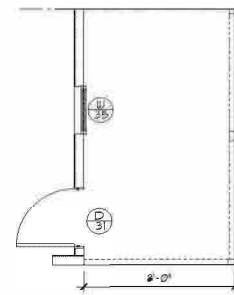
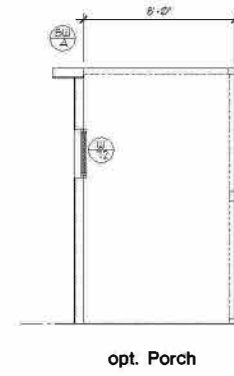
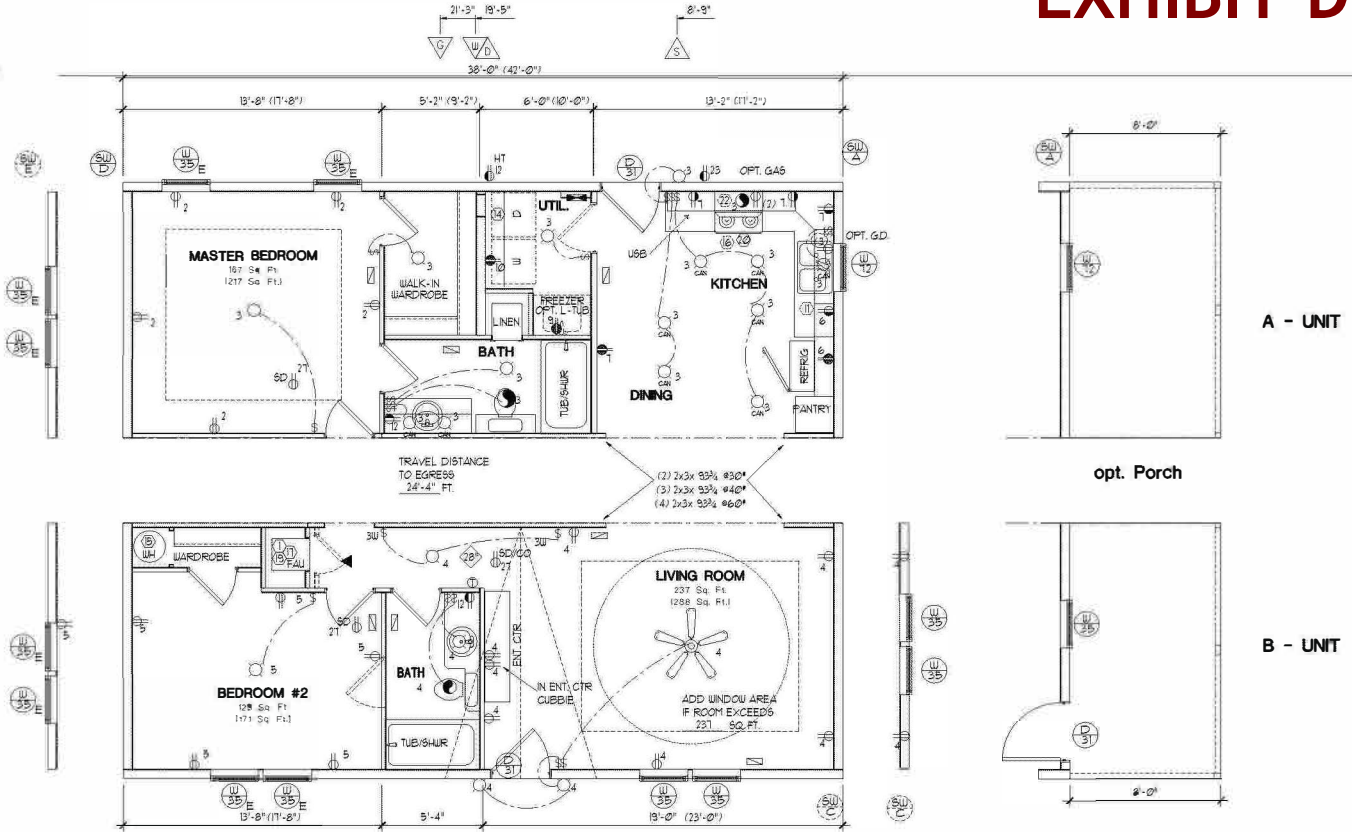
SIDEWALL: 4" OR 6" **6" WALLS**

PRODUCT	MODEL NO.
Inspiration	INS 382F
SQ. FT.	DATE
1-8-15	
SHEET	REVISED
9-4	-

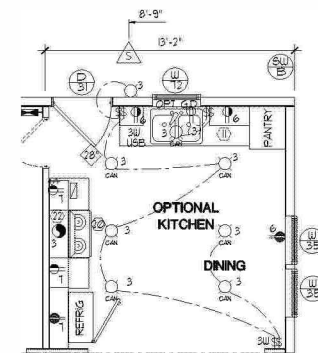
APPROVED BY



EXHIBIT D



LEGEND	
(SW) - SHEAR WALL	(R) - 15 AMP RECEPTACLE
(W) - WINDOW PER WINDOW & DOOR SCHED.	(R) - 20 AMP RECEPTACLE
(W) - WATER INLET	(S) - WALL SWITCH
(G) - GAS INLET	(HT) - HEAT TAP (GFI RECEPTACLE)
(S) - SEWER OUTLET	(SD) - SMOKE DETECTOR (WALL OR CEILING)
(D) - DRYER VENT	(GD) - GARBAGE DISPOSAL
(E) - EGRESS WINDOW	(R) - GFI RECEPTACLE (15 OR 20 AMP)
(O) - OPTION CIRCUIT (INFO PER DWG. 4.4)	(R) - GFI RECEPTACLE (20 AMP)
(L) - INCANDESCENT LIGHT	(R) - 20'x16" RETURN AIR GRILL - DOWNFLOW
(F) - EXHAUST FAN	(R) - 4'x10' ADA FLOOR REGISTER DOWNFLOW
(M) - MAIN ELECTRICAL PANEL BOX	(C) - 2" MINIMUM CLEARANCE REQUIRED
(T) - THERMOSTAT LOCATED PER CODE	(L) - FLUORESCENT LIGHT



A0107.56

Model # INS 382F	Minimum Joist Spacing 16"	Model # INS 382F	Minimum Joist Spacing 16"
Box Width = 162"	Double wide	Box Width = 162"	Double wide
Box Length = 42 ft.	80' 0" MIN. BEAM	Box Length = 42 ft.	80' 0" MIN. BEAM
No Stairs	No Offsets	No Stairs	No Offsets
No Porches	No Sunken Floor	No Porches	No Sunken Floor
Joist Size = #2 HT 2x6	Lap 8/16x3"	Joist Size = #2 HT 2x6	Lap 8/16x3"

Version R13.14		Version R13.14	
Wind Zone 1 Standard Roof	Diaphragm Construction	Wind Zone 1 Standard Roof	Diaphragm Construction
Shearwall Dist / Ht	Length	Shearwall Dist / Ht	Length
A 0' / 88"	225'	B 0' / 88"	225'
D 42' / 104"	225'	E 42' / 88"	225'

60# STRUCTURAL NOTES		THERMAL & HEAT NOTES	
1. ROOF DESIGN LOAD: 20 P.S.F. 30 P.S.F. AND 40 P.S.F.	4. INTERIOR BEARING WALLS PER 98.04	CAPACITY OF AIR COOLING SUPPLY DUCT SYSTEM REGISTER SPLIT: 3/2 2/1	TOTAL B.T.U.H.: 37,700
2. MAXIMUM RIDGE BEAM SPAN FOR 20, 30, 40 P.S.F. SHALL BE 20'-0" PER STRUCT.DWG. NO. 83 IDEAL E1 USING 2x4 MICRO-LAM RIDGE BEAM MAX PLYWOOD RIDGE BEAM SPAN PER 98.03.1	5. (1) 2x3 AT 20 P.S.F.; (2) 2x4 AT 30 P.S.F. REQUIRED AT ALL PASSAGE DOOR OPENINGS AT LONGITUDINAL CENTERLINE WALL	HEAT LOSS RUN NO. - - MAX. GLAZING: - -	HEAT LOSS RUN NO. 60. MAX. GLAZING: 194
3. ROOF PITCH 4:12 OR LESS, UNLESS NOTED OTHERWISE	(1) 2x4 AT 20 & 30 P.S.F.; (2) 2x4 AT 40 P.S.F. REQUIRED AT ALL PASSAGE DOOR OPENINGS AT LONGITUDINAL CENTERLINE WALL	HEAT LOSS RUN NO. - - MAX. GLAZING: - -	HEAT LOSS RUN NO. 34. MAX. GLAZING: 335

MP-972-INS 382F.0

GENERAL NOTES	
1. FLOOR PLAN MAY BE CONSTRUCTED IN A SIDE TO SIDE REVERSE TO THAT SHOWN.	1. ANY ABOVE SYMBOL MAY BE SHOWN DASHED INDICATING IT AS OPT.
2. CERT. LABELS, SERIAL NUMBERS, ETC. TO BE RELOCATED PER CODE REQUIREMENTS.	2. BRANCH CIRCUIT NO. PER ELEC. DWG. 4.4

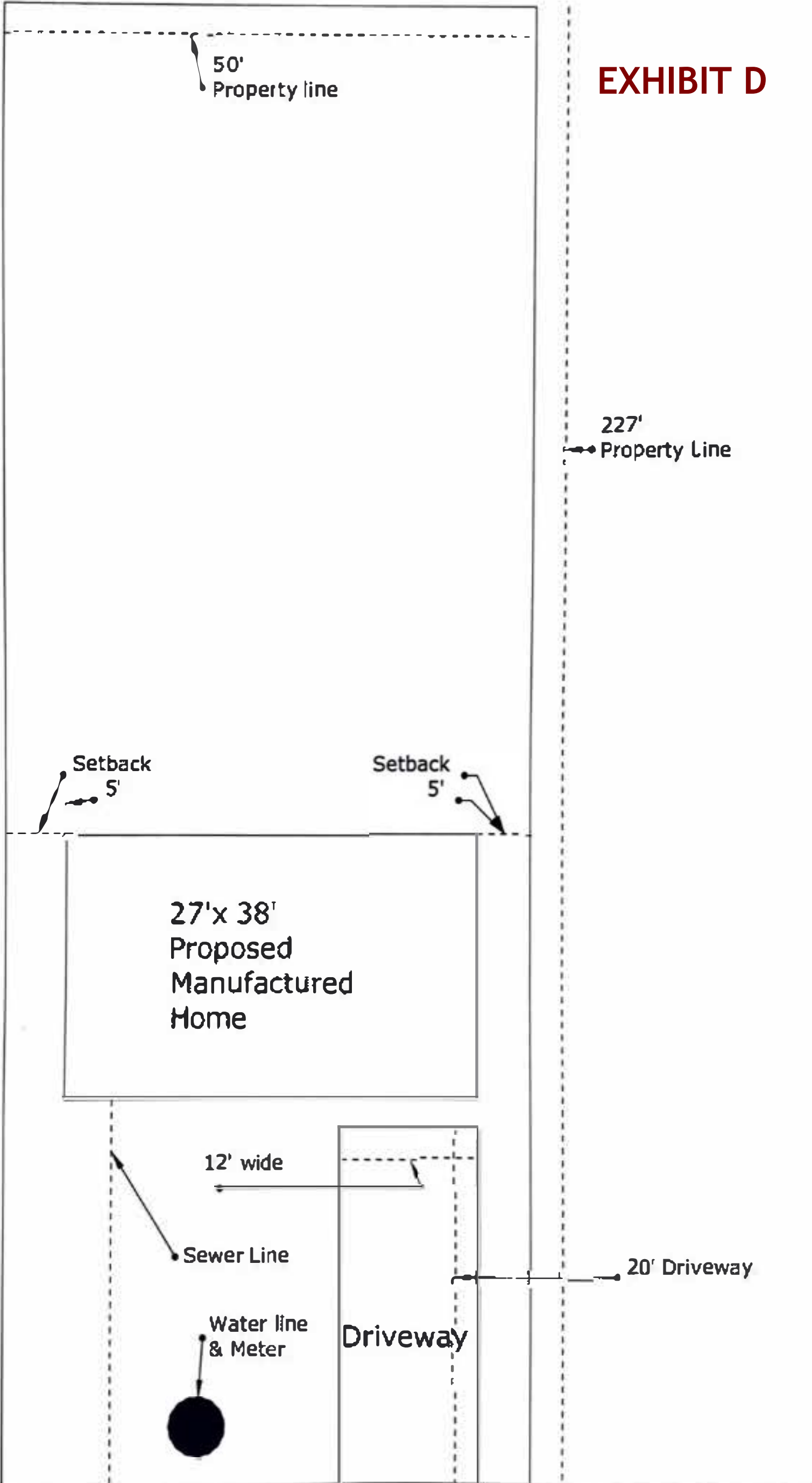
Manufacturing West, Inc.
 Albany Division - Plant #972
 2445 S.W. PACIFIC BLVD.
 ALBANY, OR 97321
 Phone (541) 926-8631
 Fax (866) 491-6847

DRAWING TITLE: **ELECTRICAL SCHEMATIC & APPROVAL FLOOR PLAN**
 ORIGINAL DRAWING BY: G. LUND

SIDEWALL: 4" OR 6"	6" WALLS
PRODUCT: Inspiration	MODEL NO.: INS 382F
SO. FT.: 1,026	DATE: 1-8-15
SHEET: 1-A3	REVISED: 5-7-18 GL

EXHIBIT D

20 Scale



52 SE Spring Street Chehalis WA

EXHIBIT E



EXHIBIT E



EXHIBIT F

NOTICE OF APPLICATION AND PUBLIC HEARING

Request: Conditional Use Permit
Applicant: David Duvall, P.O. Box 241, Kelso WA 98626
Topic: Installation of a manufactured home in an R1 zone.
Land Use Case #: CU-22-001
Date of Application: February 3, 2022
Date of Complete Application: February 14, 2022
Project Location: 52 SE Spring St, Chehalis WA 98532. Parcel # 005604053038
Hearing Date and Location: March 10, 2022. 5:00PM. Chehalis City Hall Council Chambers:
350 N. Market Blvd, Chehalis WA 98532
City Contact: To view the complete application online:
<https://www.ci.chehalis.wa.us/building/public-notice-development-review-committee-drc>
To contact Amelia Schwartz, City Planner:
Phone: 360.485.0373 (8am-4:30pm)
Email: aschwartz@ci.chehalis.wa.us
Building and Planning Department
1321 S. Market Blvd
Chehalis WA 98532

Anyone interested may appear and be heard. The decision of the City Council will be sent to all those who submit comments, testify at the hearing, or request the decision in writing. Any aggrieved party of record can file an appeal with Lewis County Superior Court. Written comments must be submitted to Amelia Schwartz at the listed address above. If you have questions, please visit the website or call.

****WRITTEN PUBLIC COMMENTS CAN BE ACCEPTED UNTIL 4:30 PM ON MARCH 10, 2022****

EXHIBIT F

AFFIDAVIT OF PUBLICATION STATE OF WASHINGTON COUNTY OF LEWIS

Kailyn Sawyer, and/or Cindy Thayer, and/or Heather Bryant,
and/or Ronda Pogorelc says that she is the legal clerk of

The Chronicle

a semi-weekly newspaper, which has been established, published
in the English language, and circulated continuously as a
semi-weekly newspaper in the City of Centralia, and in Lewis
County, Washington, general circulation in Lewis County for
more than six (6) months prior to the date of the first publication
of the notice hereto attached, and that the said Chronicle was on
the 7th day of July 1941, approved as a legal newspaper by the
Superior Court of said Lewis County. And that the attached is a
true copy and was published in regular issues (and not in
supplement form) of said newspaper as LEGAL # 121355
RE: Notice of Application

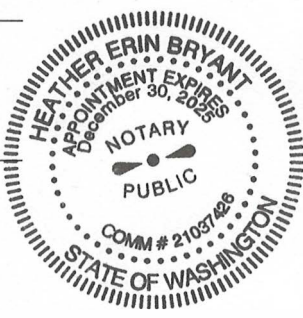
once each day for a period of 1 day

commencing on 02/24/2022 and ending on 02/24/2022

and both regularly distributed to its subscribers during all of said
period. That the full amount of the fee charged for the foregoing
publication is the sum of \$ 194.80

Ronda Pogorelc
Subscribed and sworn to before me 02/24/2022

Heather Bryant
Notary Public in and for the State of Washington,
residing at
Centralia



121355 Notice of
Application

NOTICE OF APPLICATION

Request: Conditional Use
Permit

Applicant: David Duvall,
P.O. Box 241,
Kelso WA 98626

Topic: Installation of a manu-
factured home in an R1 zone.

Land Use Case #:
CU-22-001

Date of Application:
February 3, 2022

Date of Complete Application:
February 14, 2022

Project Location:
52 SE Spring St,
Chehalis WA 98532.
Parcel # 005604053038

Hearing Date and Location:
March 10, 2022. 5:00PM.
Chehalis City Hall Council
Chambers:
350 N. Market Blvd,
Chehalis WA 98532

City Contact: To view the
complete application online:
[https://www.ci.chehalis.wa.us/
building/public-notice-develo
pment-review-committee-drc](https://www.ci.chehalis.wa.us/building/public-notice-development-review-committee-drc)
To contact Amelia Schwartz,
City Planner:
Phone: 360.485.0373
(8am-4:30pm)
Email:
aschwartz@ci.chehalis.wa.us

Building and Planning
Department
1321 S. Market Blvd
Chehalis WA 98532

Anyone interested may appear
and be heard. The decision of
the City Council will be sent to
all those who submit com-
ments, testify at the hearing, or
request the decision in writing.
Any aggrieved party of record
can file an appeal with Lewis
County Superior Court. Written
comments must be submitted
to Amelia Schwartz at the
listed address above. If you
have questions, please visit
the website or call.

****Written public comments
can be accepted until 4:30
PM on march 10, 2022****

Published: The Chronicle
February 24, 2022

EXHIBIT G



EXHIBIT G



EXHIBIT G



EXHIBIT G



EXHIBIT G



EXHIBIT G



EXHIBIT G



EXHIBIT G





Proposed Project Site

SE Spring St

Jackson Hwy



CITY OF
CHEHALIS

Where Heart and History Shape Our Future

Vicinity Map for
CU-22-001

EXHIBIT H

EXHIBIT I

John & Marie Panesko
222 S.E. Spring St.
Chehalis, WA 98532
360-748-0505
John@Panesko.com
March 3, 2022

Amelia Schwartz
Building and Planning Department
1321 S. Market Blvd.
Chehalis, WA 98532

re: Land Use Case # CU-22-001

Dear Ms. Schwartz:

We own land adjacent to the site of the proposed Conditional Use Permit on Spring St. We are proponents of development. I was a member of the Chehalis Planning Commission so I am long familiar with developers wanting to bend the rules for their financial advantage.

All of us who built or bought our homes in this neighborhood did so relying on the firm promise of the City of Chehalis of the benefits of an R-1 zone. We were assured that no cheaper manufactured homes would be plunked down among us. If you use your city authority to grant yet another zoning exception you are violating your promise to each and every one of us.

I am told that the applicant had a death in his staff but that's not a listed reason to punish the surrounding homeowners. It is tempting for you to be the "good guys" by gifting the applicant a special financial privilege but we, the neighbors, are the ones who will pay the price for your one-time generosity. We will pay for years and years.

The developer knew the R-1 limitations and took the risk in buying the property. Now he wants us to pay for his miscalculation. That's selfish and wrong. We don't deserve punishment. We don't deserve the decrease in our home values because of a sub-standard home nearby. We also know there are other developers waiting to see if you'll bend the rules in this case so they can cite it as a precedent. That would destroy the R-1 value of our neighborhood. Don't do it.

There is no reason to punish us by allowing below-standard housing to be built here.

Sincerely,



John Panesko



Marie Panesko

March 3, 2022