

Development Review Committee is represented by the City of Chehalis:  
Building and Planning | Engineering | Public Works | Fire Department | Police Department | Airport

# Development Review Committee Agenda

Chehalis Building and Planning Department

June 7, 2023, at 9 A.M.

Meeting Location: Chehalis Airport Conference Room

**9:00 AM AC-23-019, Manufacturing and storage facility, 123 Habien Road**

The applicant proposes bulk emulsion manufacturing and storage facility within the existing 3,200 sq ft shell building. The property is zoned IL, Light Industrial. Lewis County parcel ID # 017539006000. The property is approximately 6.5 acres; 283,140 sq ft.

**9:30 AM AC-23-018, Eleven lot subdivision for senior mobile home park, 969 SW 21<sup>st</sup>**

The applicant proposes an eleven-lot subdivision for a senior mobile home park. The property is zoned R-4, Multi-family High Density. Lewis County parcel ID # 005604183193, 005604183192, 005604183191, 005604783203, 005604183202, 005604183261. The property is approximately 2.1 acres; 90,692 sq ft.

**10:00 AM AC-23-017, 622,167 sq ft warehouse to replace Yard Birds, 2100 N. National**

The applicant proposes demolishing Yard Birds and replacing it with a 622,167 sq ft warehouse. The property is zoned CG, General Commercial. Lewis County parcel ID# 021650006000, 0216007000, 021650008000, 021650009000.

**10:30 AM ST-22-0007, 4000 SF orthodontics building, 1319 Bishop Rd**

The applicant is proposing a 4,000 sf orthodontics building. The property is zoned MRC, Mixed Residential Commercial. Lewis County parcel ID # 010481000000, 010480000000, 010479000000. The property is approximately 1.3 acres; 58,196 sq ft.

**11:00 Interdepartmental staff meeting.**

Join Zoom Meeting

<https://us06web.zoom.us/j/83910241095?pwd=dUI1Ym0rTkt6SHZCZjkxUTRlVDBUUT09>



Vicinity map for AC-23-019  
123 Habien Road  
Manufacturing and Storage Facility



Return your conference application to Community Development Department  
 1321 S Market Blvd. Chehalis, WA 98532  
 (360) 345-2229  
[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

JOB SITE ADDRESS: 123 Habein Road PARCEL #: 017539006000

**APPLICANT / CONTACT PERSON:**

NAME: Ramon Coronel, McCallum Rock Drilling, Inc.  
 ADDRESS: 115 Sturdevant Road  
 CITY/ST/ZIP: Chehalis, WA 98532  
 PHONE#: 360-748-7259  
 EMAIL: ramonc@mccallumrock.com

**CONTRACTOR / ENGINEER / SURVEYOR:**

COMPANY NAME: JSA Civil, LLC  
 CONTACT NAME: Nick Wheeler  
 ADDRESS: 111 Tumwater Blvd SE, Suite C210  
 PHONE #: 360-515-9600  
 EMAIL: nick.wheeler@jsa-civil.com  
 CONTRACTORS L&I #: \_\_\_\_\_

Is the property owner the same as the contact person? Yes  No

**DETAILED PROJECT DESCRIPTION:** Proposal to construct a bulk emulsion manufacturing and storage facility within the existing +/- 3,200 ft<sup>2</sup> light-industrial shell building located along the southern boundary of TPN 017539006000/123 Habein Road. Please refer to the enclosed conceptual plant floor plan, site plan, and project narrative for additional information.

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

<b>Signature:</b> 	<b>Date:</b> 5/17/23
<b>Name (print):</b> RAMON CORONEL	<b>Telephone #:</b> 360-748-7259

<b>Office use only</b>	
Received by: LF	Date Received: 5/17/2023
Parcel #: 017539006000	
Permit #: AC-23-019	
Zoning: UGA-IL	
Flood Zone: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Zone Classification:	

## Technical Memorandum

**To:** City of Chehalis  
**From:** Nick Wheeler | JSA Civil, LLC  
**Date:** May 17, 2023  
**Subject:** Pre-Application Narrative  
**Project:** Emulsion Project

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City of Chehalis Staff,

Please accept this project narrative for McCallum Rock Drilling, Inc.'s proposed emulsion manufacturing and storage facility project, located at 123 Habein Road on Lewis County TPN 017539006000. The project proposes to construct a new emulsion mixing plant and bulk storage facility within an existing +/- 3,200 ft<sup>2</sup> building operated by McCallum Rock Drilling, Inc. (McCallum Rock). The following memorandum has been prepared in support of the project and is intended to provide an overall summary of the existing on-site conditions and improvements that are proposed.

### ***Existing Conditions***

The overall project site is approximately 6.43 acres and is currently operated by McCallum Rock. The site contains a +/- 35,000 ft<sup>2</sup> industrial building, +/-1,584 ft<sup>2</sup> office building, +/- 3,000 ft<sup>2</sup> storage warehouse, and the subject +/- 3,200 ft<sup>2</sup> warehouse building proposed for installation of the emulsion manufacturing facility. McCallum's existing uses at the site will remain, with the emulsion manufacturing and storage facility being added.

### ***Proposed Development and Zoning***

The site is zoned IL – Light Industrial by the City of Chehalis. The project is proposed within an existing structure at the site, new buildings are not currently proposed. Additional improvements include a rail spur entering at the north end of the site, which will be connected to the adjacent BNSF rail line. Storage containers and/or silos are proposed west of the batch plant building for storage of bulk materials. Bulk materials to be stored and mixed on-site include ammonium nitrate solution, mineral oil (or similar), and diesel fuel. Ammonium nitrate is classified as a hazardous material, and based on our understanding, the proposed project will require conditional use permit approval for storage and use of the hazardous materials. We intend to confirm the requirements to secure Conditional Use Permit (CUP) approval for the project through the pre-submission review conference. Please refer to the enclosed conceptual floor and site plans for additional information.

### ***Utilities***

The site and existing facilities are connected to City of Chehalis water and sewer, with power provided by Lewis County PUD. Stormwater will be managed via a private, on-site, stormwater system.

***Critical Areas***

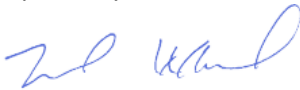
Lewis County's Interactive GIS Map indicates the potential presence of critical areas (wetlands) across the center of the parcel and hydric soils throughout the limits of the site. The eastern edge of the site is mapped to contain Category III Critical Aquifer Recharge Area (CARA) Soils. If necessary, a Critical Areas Report will be prepared at a later date and provided for review and approval by the City.

***Hazardous Materials***

JSA previously discussed this project with the City Fire Marshal, Rick Mack. Mr. Mack provided questions regarding fire and life safety concerns for hazardous materials storage, emulsion batch plant equipment and manufacturing processes, and product transport. Please refer to Attachment A – Emulsion Oxidizer Manufacture which includes the questions from Mr. Mack and responses bulleted beneath each.

Thank you for accepting this project narrative for McCallum Rock's proposed Emulsion Project. Please contact me directly with any questions at 360-515-9600 or [nick.wheeler@jsa-civil.com](mailto:nick.wheeler@jsa-civil.com).

Respectfully,



Nick Wheeler  
Business Manager  
JSA Civil, LLC

## Emulsion Oxidiser Manufacture Fire Marshall Questions & Answers

1. How is the ammonium nitrate stored? Is this in trucks/tankers only, or will it be separated into other types of containers?

- AN (ammonium nitrate) storage is (in the US) covered by NFPA 400. There are also industry standards, for example SAFEX International (an international explosives manufacturers' safety organization) has an extensive Good Practice Guide for storage and handling of AN. Storage on AN depends on the format.
- AN solution is stored in tanks or silos. AN solutions typically have concentrations in the mid 80%'s range (80% AN and 20% water), as most emulsion formulations use %'s in the mid 80's, so solutions are stored at these levels. At these strengths, is relatively safe to store and handle. In solution form the AN solution is not flammable. In a fire situation, (such as a brush fire surrounding an AN Solution storage tank), there is a substantial amount of water that needs to be driven off before the AN becomes dry. If additional heat from the fire continues, the AN will heat to a point where it begins to decompose and in the very worst case, will self decompose and generate heat itself. In extremely rare situations where the molten AN is also confined (such as in a closed and sealed pipe) the decomposition of the AN could lead to an explosion, however, the tanks and silos we propose to use are never sealed and are always open to the atmosphere, making the risk of an explosion caused by an external fire surrounding the tank significantly not possible.
- AN solutions are used in the production of emulsion, and this AN solution could be prepared by dissolving solid AN in prilled format in hot water. Solid AN is typically stored in totes (such a 1 ton tote bags), in sea cans, or in a building, as it needs to be kept dry. Storage of massive amounts (such as at a port distribution centre) usually includes separating AN into sections, and not to have it in one big lot.
- In our proposal, we would be looking at storing about 100 to 200 tons of dry prilled AN or preferably several railcars of 80% strength AN solution (possibly up to 500 tons of ANSOL).
- Note: ingredient sourcing and selection is yet to be finalized: ANSOL is the preferred method of receiving the AN supply and storage specifics are still to be determined.

2. How is the product removed/transported from the storage area for production? Are the ammonium nitrate quantities limited to set amounts when being pulled for manufacturing?

- AN solution will be pumped, with a pump suitable for the purpose. Pumps are usually fitted with safety devices to prevent deadheading (pumping against a blockage and generating pressure), and dry running (which can produce friction and heat). Safe handling of AN SOL is well known in the industry.
- Solid AN would be brought into the plant in totes (with a system that lifts the totes and empties it into a tank where the solution is prepared).
- Emulsions can be manufactured in batch processes (which is what we are proposing to use) or a continuous process. For a batch process one has the amount of AN solution present in the amount needed for a batch.
- The proposed Intrinsically Safe Emulsion Production (ISEMP) facility runs as a batch process where predetermined amounts of AN will be prepared and brought into the manufacturing area. The batch approach assists in consistently producing the same failproof product. Approximately 8 to 10 Ton batch sizes of emulsion will be prepared.

3. How does manufacturing occur?

- Emulsion manufacturing takes place in a vented tank. The ammonium nitrate solution is pumped to the tank where the emulsification process begins. A surfactant (emulsifier) is added to an oil (usually blended in a separate tank first), and this is then pumped to the AN solution in the manufacturing tank. In general terms, mixing is done in some way - mechanical, or some other means, to form the emulsion. The resulting emulsion is then usually pumped through a device that will help it become thicker - usually a static mixer. All pumping is done with pumps appropriate for pumping emulsion, with safety devices like the AN solution pumps as mentioned above.
- The ISEMP plant uses intrinsically safe pumps and mixing processes that do not require additional safety systems. By employing an Intrinsically Safe Plant Design Philosophy, the robustness of the system improves as does the ease of operations and training staff.
- Note that the proposed ISEMP plant always defaults to a safe state.
- The only utilities required to power the core equipment in an ISEMP plant are compressed air and hot water or low-pressure steam. Electrical motors and Electrical controls as found on most Emulsion manufacturing plants are not employed on an ISEMP plant which reduces issues associated with electrical equipment.

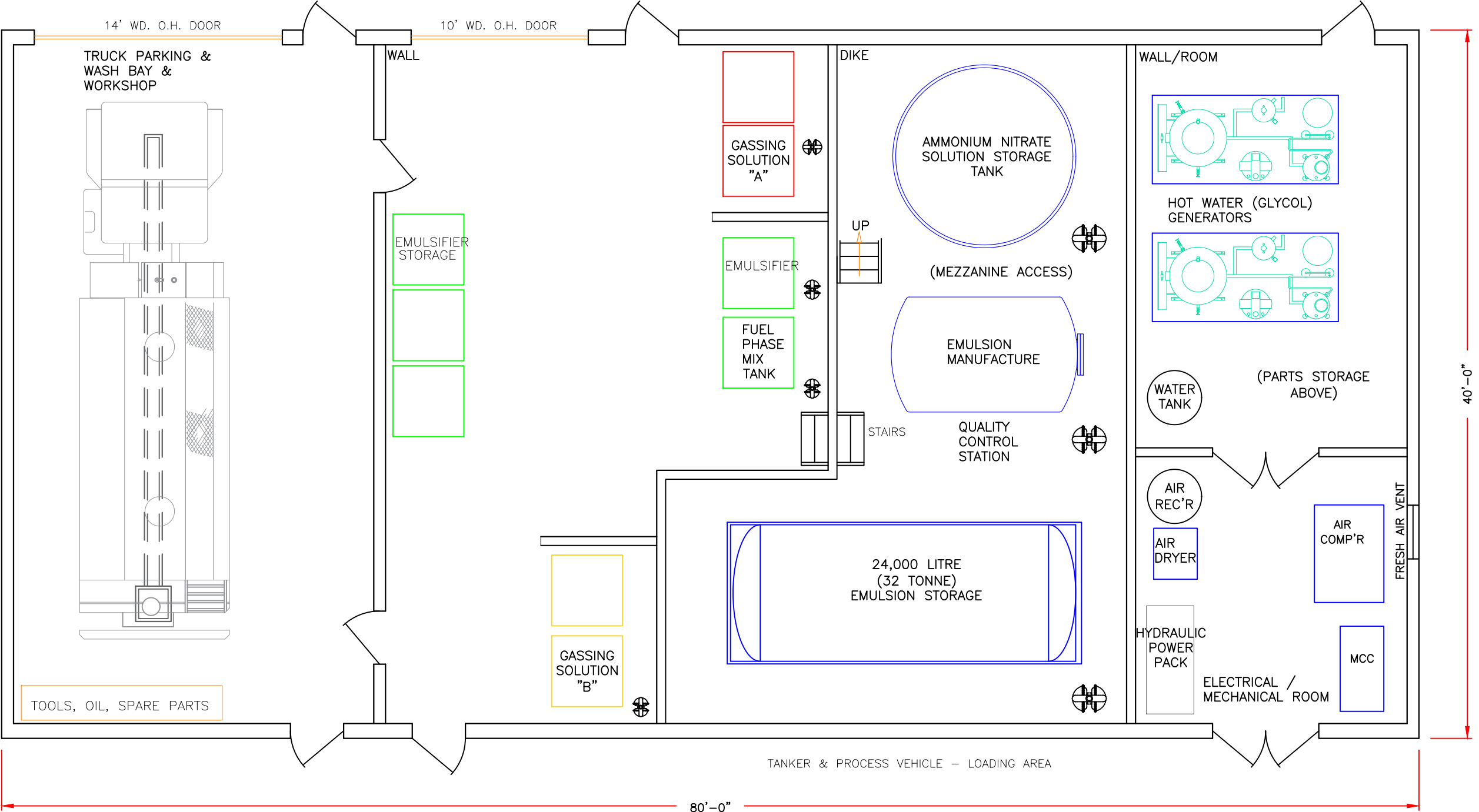
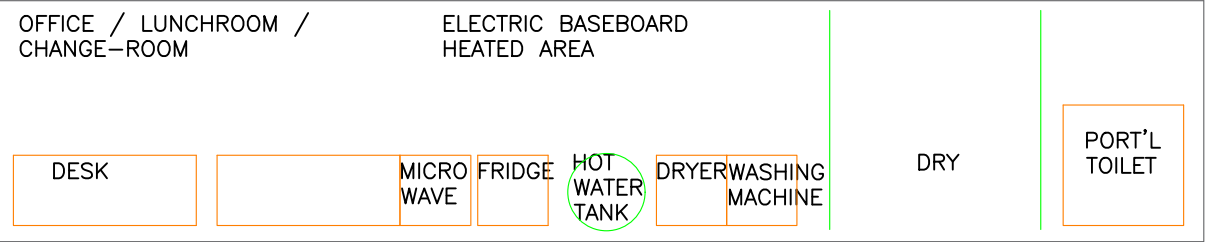
4. Will manufacturing occur in a controlled lab setting or other type of facility?

- Manufacturing occurs in a purpose-built plant. The process of setting up the plant and reviewing the design of it will include a HAZOP (Hazard and Operability Study) - the purpose of a HAZOP is to identify hazards and mitigate them. A building for an emulsion plant also has specific construction and electrical requirements - for example, the main issue with electrical fittings is the corrosiveness of the AN. Typically all electrical enclosures, etc. will meet at least NEMA 4X requirements and any motors (such as used in the building ventilation and heating systems) are TEFC (totally enclosed fan cooled).
- The core ISEMP plant does not use electrical fittings and removes the added requirements of being compliant to NEMA 4X and TEFC and the associated corrosion issues. It also assists with reducing maintenance and keeping the process simple.

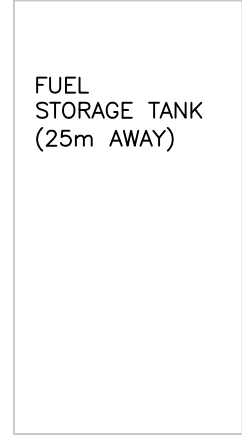
5. Once the materials are combined during the manufacturing process to create blasting materials, are they immediately removed from the site or will some available quantities of prepared blasting materials be stored as well?

- Bulk emulsion is typically stored in tanks or silos. Depending on the formulation and sensitivity, emulsions used in bulk format for commercial applications can be classified for transportation as a blasting agent (1.5D) or as an oxidiser (5.1), using the tests in the UN Manual of Tests and Criteria. To be classified as an oxidizer, the emulsion must pass a series of tests to prove its insensitivity. Our proposal is to produce an emulsion that would be classified as an oxidizer (5.1) as it does not require an explosives licence for the manufacturing facility.
- Typically, an emulsion plant will have a tank or silo near the plant and after completing a batch, the emulsion will be pumped into the storage vessel. Large operations will usually have additional silos elsewhere, in an area removed from the plant: the emulsion would be trucked there.
- In our proposal, we are planning on storing about 60 to 100 Tons of finished oxidizer emulsion close by the ISEMP plant.





McCALLUM ROCK DRILLING  
 BULK EMULSION MANUFACTURING FACILITY  
 PROPOSAL  
 FOR COMMENTS & DISCUSSION



PROJECTION:

THIS DRAWING IS THE PROPERTY OF PAIGE ENGINEERING LIMITED. THE INFORMATION AND KNOW-HOW CONTAINED HEREIN MAY NOT BE USED NOR THE DRAWING REPRODUCED WITHOUT THE WRITTEN PERMISSION OF PAIGE ENGINEERING. ALL REPRODUCTIONS IN WHOLE OR IN PART SHALL BEAR REFERENCE TO THIS STAMP.

AREA: McCALLUM PROPOSAL

DETAIL DESCRIPTION: GENERAL PLANT PLAN-VIEW LAYOUT

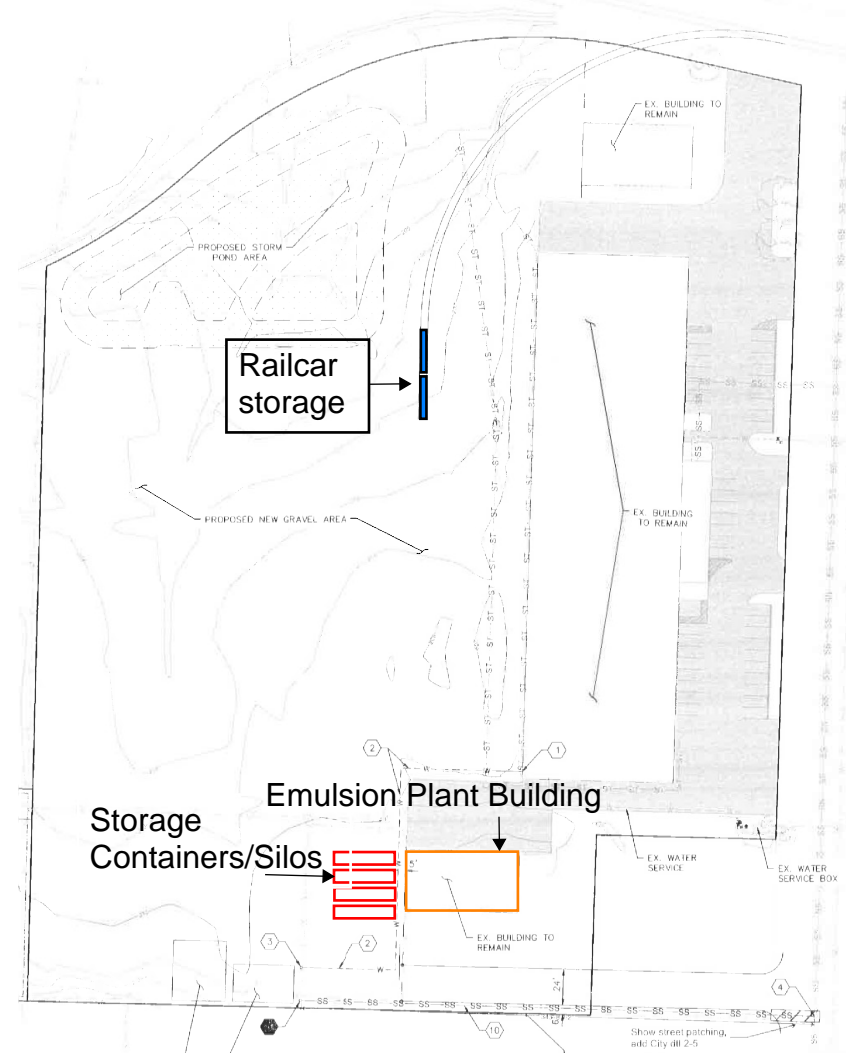
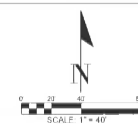
SCALE: AS SHOWN DATE: 23-03-21 DRAWN BY: JMP

BULK EMULSION PLANT

DRAWING NUMBER: PEL-MCM-4746-1 REV. NO. 0

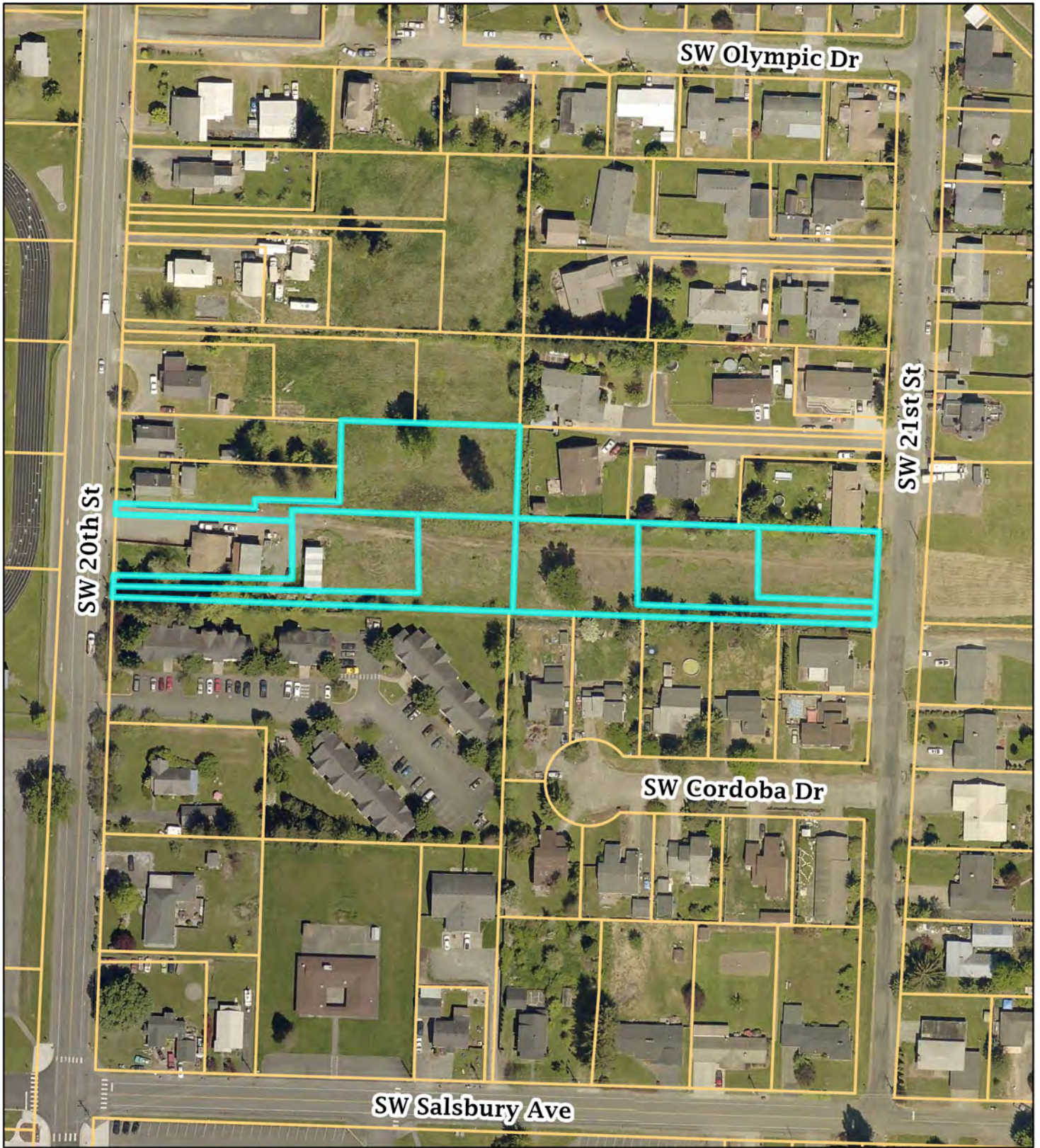
REVISIONS		
DATE	DESCRIPTION	BY

SECTION 04 TOWNSHIP 13N RANGE 02W



ADJACENT PROPERTY NOT PART OF PROJECT  
ADJACENT PROPERTY NOT PART OF PROJECT

**APPROVED FOR CONSTRUCTION**  
BY \_\_\_\_\_ DATE \_\_\_\_\_  
PUBLIC WORKS DEPARTMENT OR  
DESIGNED CONSULTANT  
APPROVAL EXPIRES: \_\_\_\_\_



Vicinity map for AC-23-018  
969 SW 21st St  
Senior Mobile Home Park



**Return your conference application to Community Development Department**

1321 S Market Blvd. Chehalis, WA 98532  
(360) 345-2229

[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

**JOB SITE ADDRESS:** No Situs Address **PARCEL #:** 005604183193, 005604183192, 005604183191, 005604183203, 005604183202, 005604183264

**APPLICANT / CONTACT PERSON:**

NAME: Greg Lund  
ADDRESS: PO Box 897  
CITY/ST/ZIP: Chehalis Wa 98532  
PHONE#: 360 508 0752  
EMAIL: greg.lund@century21lund.com

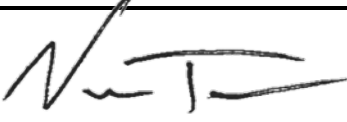
**CONTRACTOR / ENGINEER / SURVEYOR:**

COMPANY NAME: Iris Group Civil Engineers  
CONTACT NAME: Nick Taylor  
ADDRESS: 299 N Market Blvd  
PHONE #: 360 890 8955  
EMAIL: ntaylor@irisgroupconsulting.com  
CONTRACTORS L&I #: \_\_\_\_\_

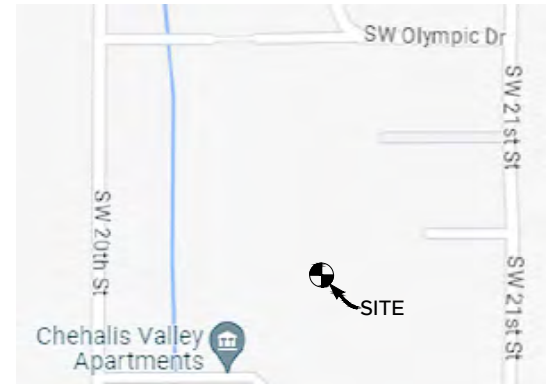
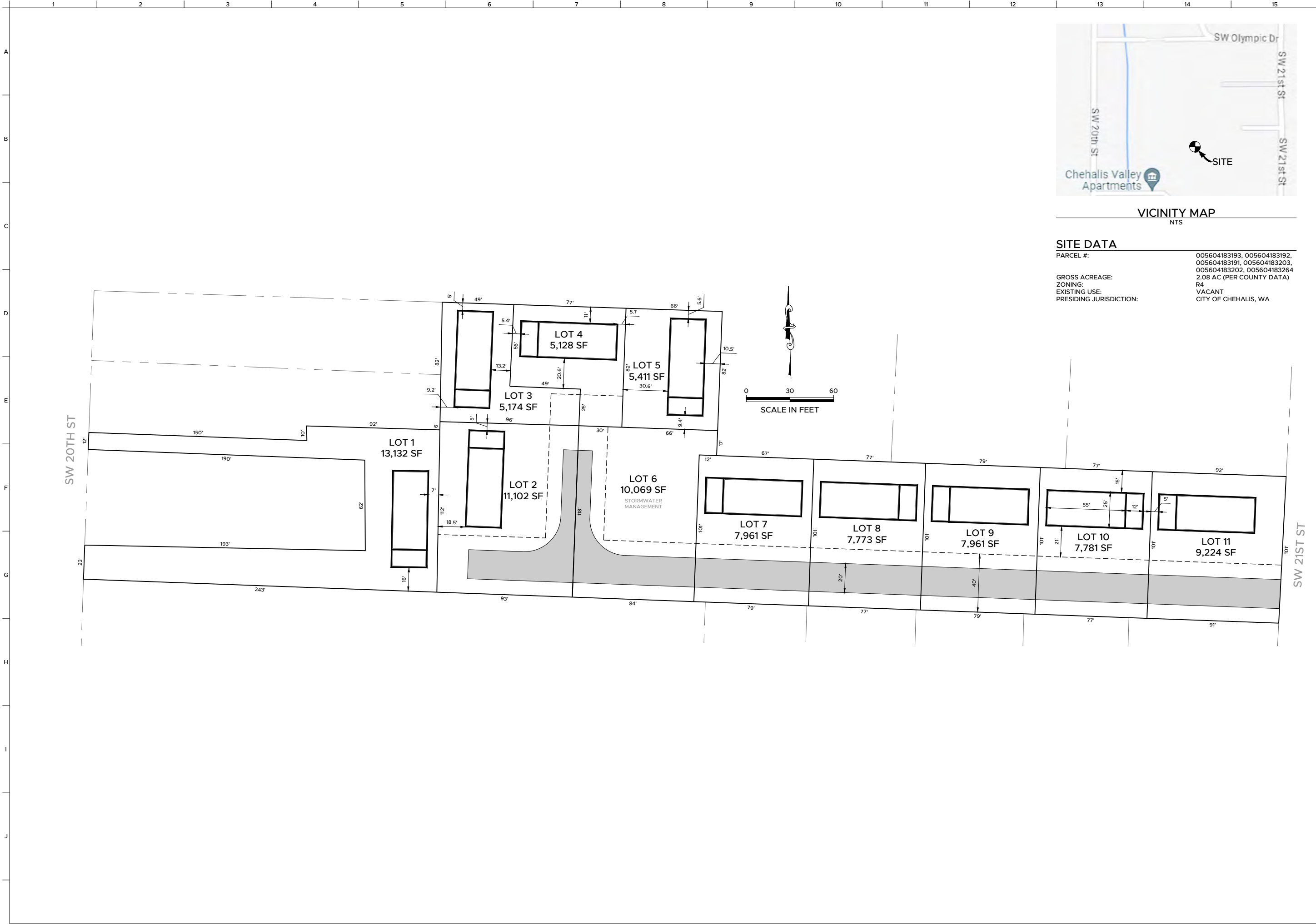
Is the property owner the same as the contact person? Yes  No

**DETAILED PROJECT DESCRIPTION:** 11-lot subdivision for senior mobile home park.  
\_\_\_\_\_  
\_\_\_\_\_

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

<b><u>Signature:</u></b> 	<b><u>Date:</u></b> 5/16/2023
<b><u>Name (print):</u></b> Nick Taylor	<b><u>Telephone #:</u></b> 360 890 8955

<b>Office use only</b>	
Received by: LF	Date Received: 5/16/2023
Parcel #: 005604183193, 005604183191, 005604183192, 005604183202, 005604183203, 005604183264	
Permit #: AC-23-018	
Zoning: R4	
Flood Zone: Yes <b>No</b>	
Zone Classification:	



VICINITY MAP  
NTS

**SITE DATA**

PARCEL #: 005604183193, 005604183192, 005604183191, 005604183203, 005604183202, 005604183264  
 GROSS ACREAGE: 2.08 AC (PER COUNTY DATA)  
 ZONING: R4  
 EXISTING USE: VACANT  
 PRESIDING JURISDICTION: CITY OF CHEHALIS, WA

PROPOSED 11-LOT  
SENIOR MOBILE HOME  
PARK

CONCEPTUAL PARCEL MAP

PROJ. NO:	GL201
REVIEWED BY:	NDT
DESIGNED BY:	NDT
DRAWN BY:	RCB
DATE:	05-16-2023

Know what's BELOW  
Call 811 before you dig.



Vicinity map for AC-23-017  
2100 N National Ave  
Warehouse Site



**Return your conference application to Community Development Department**

1321 S Market Blvd. Chehalis, WA 98532  
(360) 345-2229

[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

**JOB SITE ADDRESS:** 2100 N. National Avenue

**PARCEL #:** 021650006000, 7000, 8000 and 9000

**APPLICANT / CONTACT PERSON:**

NAME: Dan Balmelli, Barghausen Engineers  
 ADDRESS: 18215-72nd Avenue South  
 CITY/ST/ZIP: Kent, WA 98032  
 PHONE#: 425-251-6222  
 EMAIL: dbalmelli@barghausen.com

**CONTRACTOR / ENGINEER / SURVEYOR:**

COMPANY NAME: Dan Balmelli, Barghausen Engineers  
 CONTACT NAME: 18215-72nd Avenue South  
 ADDRESS: Kent, WA 98032  
 PHONE #: 425-251-6222  
 EMAIL: dbalmelli@barghausen.com  
 CONTRACTORS L&I #: \_\_\_\_\_

Is the property owner the same as the contact person? Yes  No

**DETAILED PROJECT DESCRIPTION:** Redevelopment of Yard Bird site for construction of new 622,167 square foot warehouse use facility along with updated on-site, off-site and utility improvements.

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

<b><u>Signature:</u></b> <i>Daniel K. Balmelli</i>	<b><u>Date:</u></b> 5/11/2023
<b><u>Name (print):</u></b> Daniel K. Balmelli, P.E., Barghausen Engineers	<b><u>Telephone #:</u></b> 425-251-6222

<b>Office use only</b>	
Received by: LF	Date Received: 05/12/2023
Parcel #: 021650009000, 8000, 7000, 6000	
Permit #: AC-23-017	
Zoning: CG	
Flood Zone: <b>Yes</b> No	
Zone Classification: A	



**Project Description for  
Presubmission Conference  
Panattoni Yard Bird Industrial Warehouse Project  
May 11, 2023**

The proposed project consists of re-development of the existing Yard Bird retail store for development of a new Industrial/Warehouse project on the approximately 33.26 acre site. The project will include demolition of the existing structures for construction of an approximately 622,167 square foot building with dock high loading on both the north and south sides, approximately 32,000 square foot of office space, 590,167 square foot of warehouse space, approximately 359 vehicle parking spaces, approximately 124 trailer parking spaces and 116 dock doors.

The project will consist of concrete tilt up construction with a maximum building height of 45 foot. Other building materials will include glass, metal and wood. The type of construction will be Type III-B. Redevelopment of the site will also include grading activities, paved truck and vehicular parking areas, stormwater facility, water and sanitary sewer connections, landscaping, franchise utility connections and required off-site frontage road improvements. Access to the site will be from two 45-foot-wide entrances to North National Avenue and two 45-foot wide entrances to N.E. Kresky Avenue as shown on the proposed site plan. The project is currently a speculative warehouse with no specific tenants at this time.

A boundary line adjustment or lot combination will be processed to configure the parcels to meet the proposed site layout.





Yard Bird Chehalis Site  
Pre-Application Questions  
May 11, 2023

1. Discuss and confirm process and timing for SEPA, land use, site work and building permits.
2. Are there any applicable Design Review standards?
3. Discuss how allowed uses and site layout requirements will be affected by the zoning.
4. Discuss possible zoning amendment or code language change to allow for warehouse distribution.
5. Confirm any required traffic, storm and utility impact fees or assessments applicable to the project.
6. Discuss any stream, steep slope or wetland setback requirements. Is any mitigation allowed to reduce the standard setbacks?
7. Are there any tree retention requirements?
8. Confirm the size, location, availability and capacity of water, fire and sewer service to the site, and service providers.
9. Confirm the availability of gas (this is important to building a semi-conditioned building).
10. Discuss any existing easements – have any lapsed? Do they need to remain clear?
11. Discuss the parking ratio. Does the majority use apply to the full building, or is each use evaluated separately? If requirements are high, what are processes to reduce?
12. Confirm requirements for fire lanes and turn radii.
13. Confirm locations of any required aerial apparatus access lanes.
14. Confirm exterior trash storage – any screening, or layout requirements? Does the trash service provider have their own requirements?
15. For the required fire access doors in a building with high-pile storage (located every 125-foot around the building per IBC 2021 3206.7.5), what types of exterior surfaces are required for fire fighter access?
16. Are fire sprinkler rooms required?
17. Confirm any researched landscaping setbacks are correct as shown.

18. Confirm the storm drainage standards which will be applicable to the project.
19. Confirm any roadway and frontage road improvements required, and any required ROW dedications.
20. Confirm if the site or any portion of it is in the 100 year FEMA Flood Plain and if so, what are the requirements for development and mitigation.
21. Review proposed site access (driveway) widths and locations. Are there any right-in, right-out requirements?
22. Verify load capacity of the existing bridge crossing the railroad tracks to the south of the project which will be one of the access routes to interstate 5.
23. Please provide copies of available water, sewer, storm and other utility design or asbuilt plans
24. Please provide input on any other development related requirements or conditions that would be applicable to this site.

**PROJECT DATA**

SITE AREA	1,452,229	SF
BUILDING AREA	622,167	SF
COVERAGE	42.8%	

PARKING REQUIRED	359.0
32,000 SF OFFICE @ 2:1000	64.0
590,167 SF WHSE @ 1:2000	295.0
PARKING PROVIDED	---

- ▼ 9'x10' DOCK DOOR 116
- 14'x16' GRADE ACCESS DOOR 4

**PROGRESS  
PRINTING**  
May 4, 2023

**YARD BIRD SITE**

CHEHALIS, WA

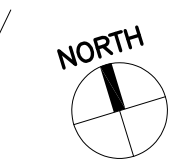
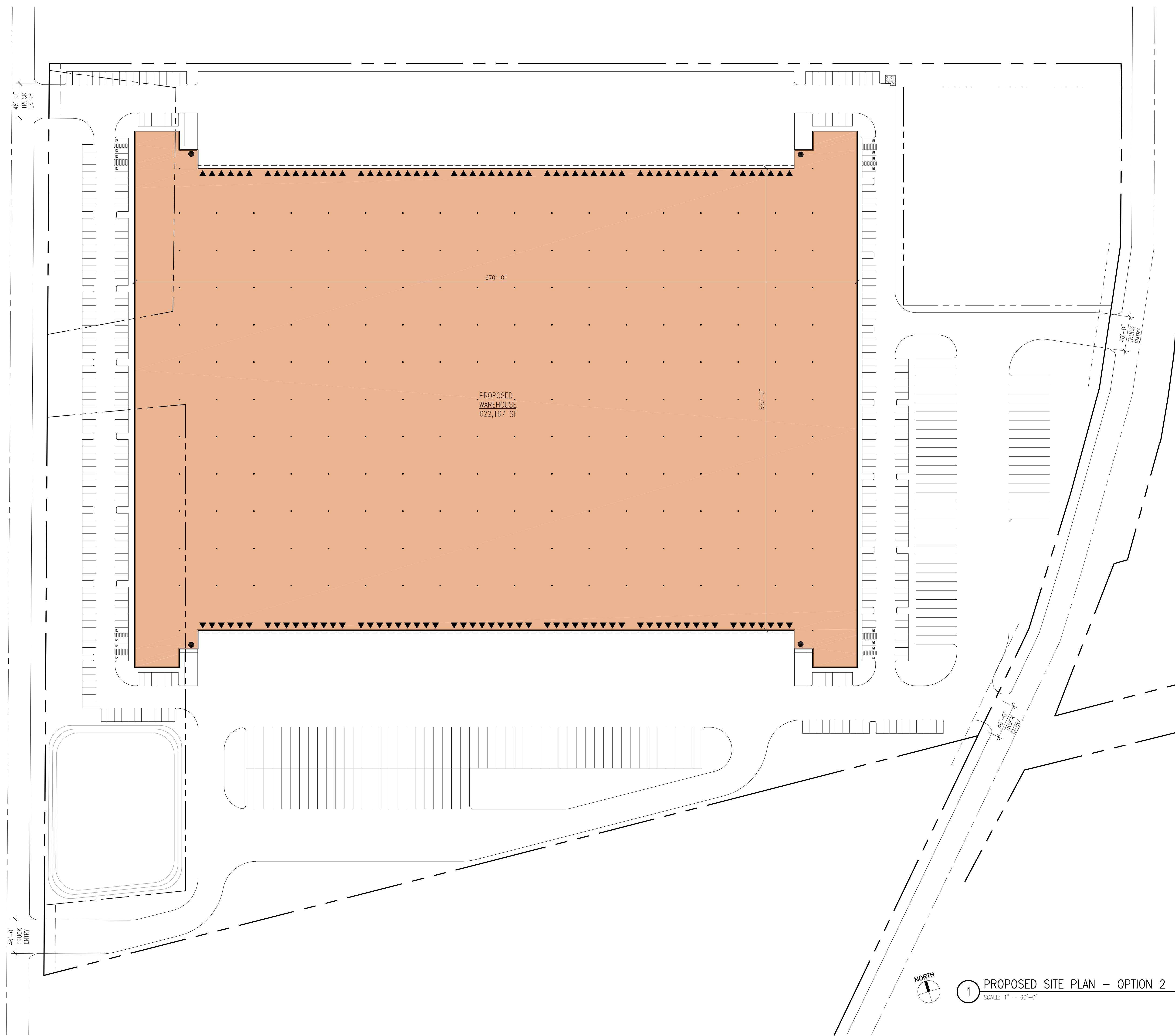
REVISED 05 04 2023  
ISSUE DATE 05 09 2022

LD2

200902.29.165

[www.synthesispllc.com](http://www.synthesispllc.com)

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**1** PROPOSED SITE PLAN - OPTION 2  
SCALE: 1" = 60'-0"

P:\2022\20220509\20220509 - Chehalis 10 - 1st and 2nd Warehouse Layouts.dwg, 5/4/2023 5:14 PM



Vicinity map for ST-22-0007  
1319 Bishop Rd  
Wagner Orthodontics





Return your permit application to Community Development  
 Department  
 1321 S Market Blvd. Chehalis, WA 98532  
 (360) 345-2229  
[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

Job address: 1319 & 1327 Bishop Rd Parcel #: 010480000000 & 010479000000

**Applicant/Contact person**

Name: Peter Wagner, DMD  
 Mailing address: 140 Jeffries Rd  
 City, State, and Zip: Chehalis, WA 98532  
 Phone #: 360.269.6993 Email: (required) peter\_wagner3@hotmail.com

**Contractor/Engineer/Surveyor**

Contact Name: Robert Balmelli, PE  
 Company/Firm Name: RB Engineering  
 Mailing address: PO Box 923  
 City, State, and Zip: Chehalis, WA 98532  
 Phone #: 360.740.8919 Email: (required) robertb@rbengineers.com  
 Contractor's L&I #:

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)  
 Construction of 4000 SF orthodontics building with associated parking and stormwater design.

Current market value of proposed work: \$650,000  
 (Fair market labor and materials)

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: [Signature] Date: 7/7/22  
 Print Name: Robert Balmelli, PE

*Office use only*

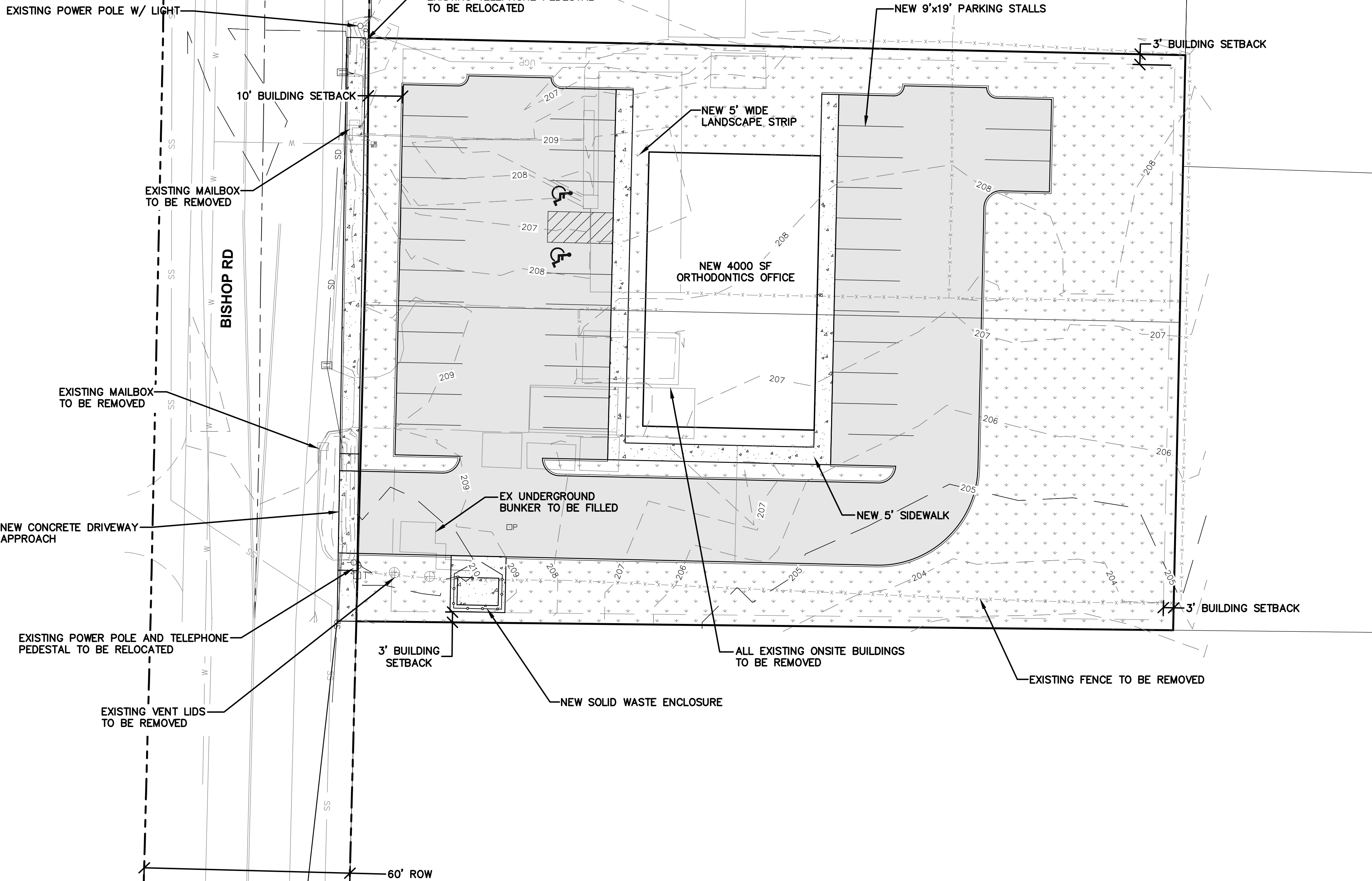
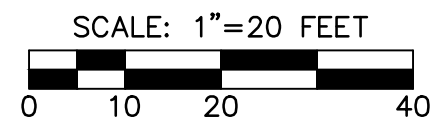
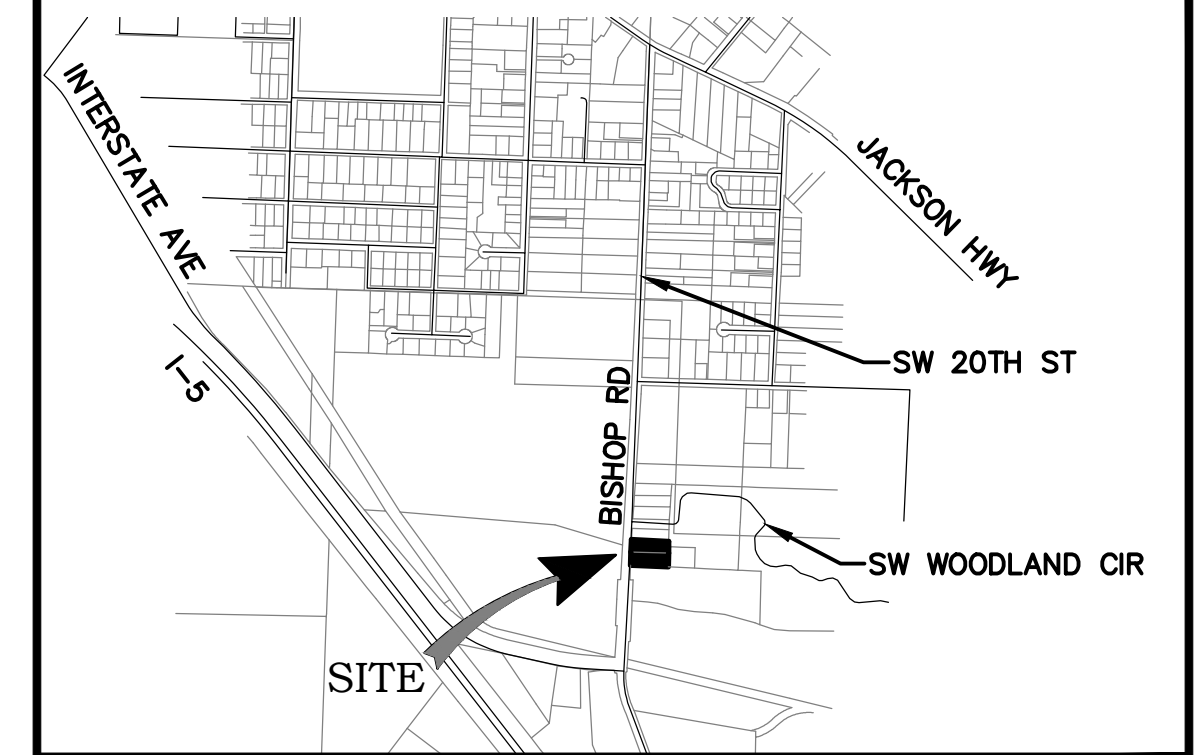
Received by: [Signature] Date Received: 7/07/2022  
 Parcel #: 010480000000 & 010479000000  
 Permit #: SEPA-22-003  
 Zoning: C6  
 Flood Zone: yes  no  Zone Classification:

# WAGNER ORTHODONTICS

SECTION 04, TOWNSHIP 13 NORTH, RANGE 02 WEST, W.M.  
LEWIS COUNTY, WASHINGTON

## VICINITY MAP

N.T.S.



## PROJECT INFORMATION

APPLICANT: PETER WAGNER  
(360) 269 6993  
PETER\_WAGNER3@HOTMAIL.COM

PARCEL NOS: 01048000000  
01047900000

SITE ADDRESS: 1319 & 1327 BISHOP RD  
CHEHALIS, WA 98532

ZONING: CG - GENERAL COMMERCIAL

SITE AREA: 0.44 ACRES EACH

GRADING: XX± CY FILL

SOILS: LACAMAS SILT LOAM  
PRATHER SILTY CLAY LOAM

SANITARY SEWER: CITY OF CHEHALIS

WATER: CITY OF CHEHALIS

FIRE DISTRICT: LEWIS COUNTY

## SHEET INDEX

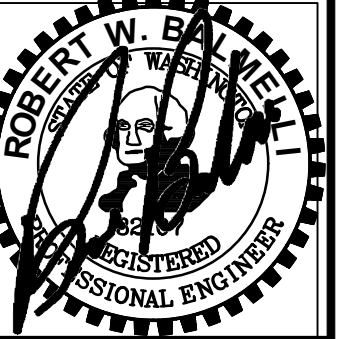
- P0.1 PRELIMINARY SITE PLAN
- P1.1 PRELIMINARY GRADING AND DRAINAGE PLAN
- P1.2 PRELIMINARY UTILITY PLAN
- P1.3 PRELIMINARY FRONTAGE IMPROVEMENT PLAN
- P1.4 PRELIMINARY DETAILS AND CROSS SECTIONS
- LS1.1 PRELIMINARY LANDSCAPE PLAN

NO.	DATE	REVISION

DESIGNED BY: ZRW  
DRAWN BY: ZRW  
CHECKED BY: RWB  
DATE: 7/6/22  
SCALE: WA.

**WAGNER ORTHODONTICS**  
CHEHALIS

**PRELIMINARY SITE PLAN**



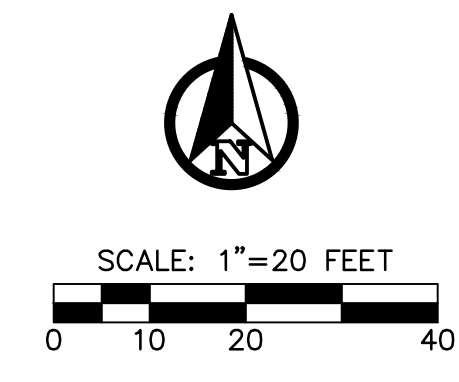
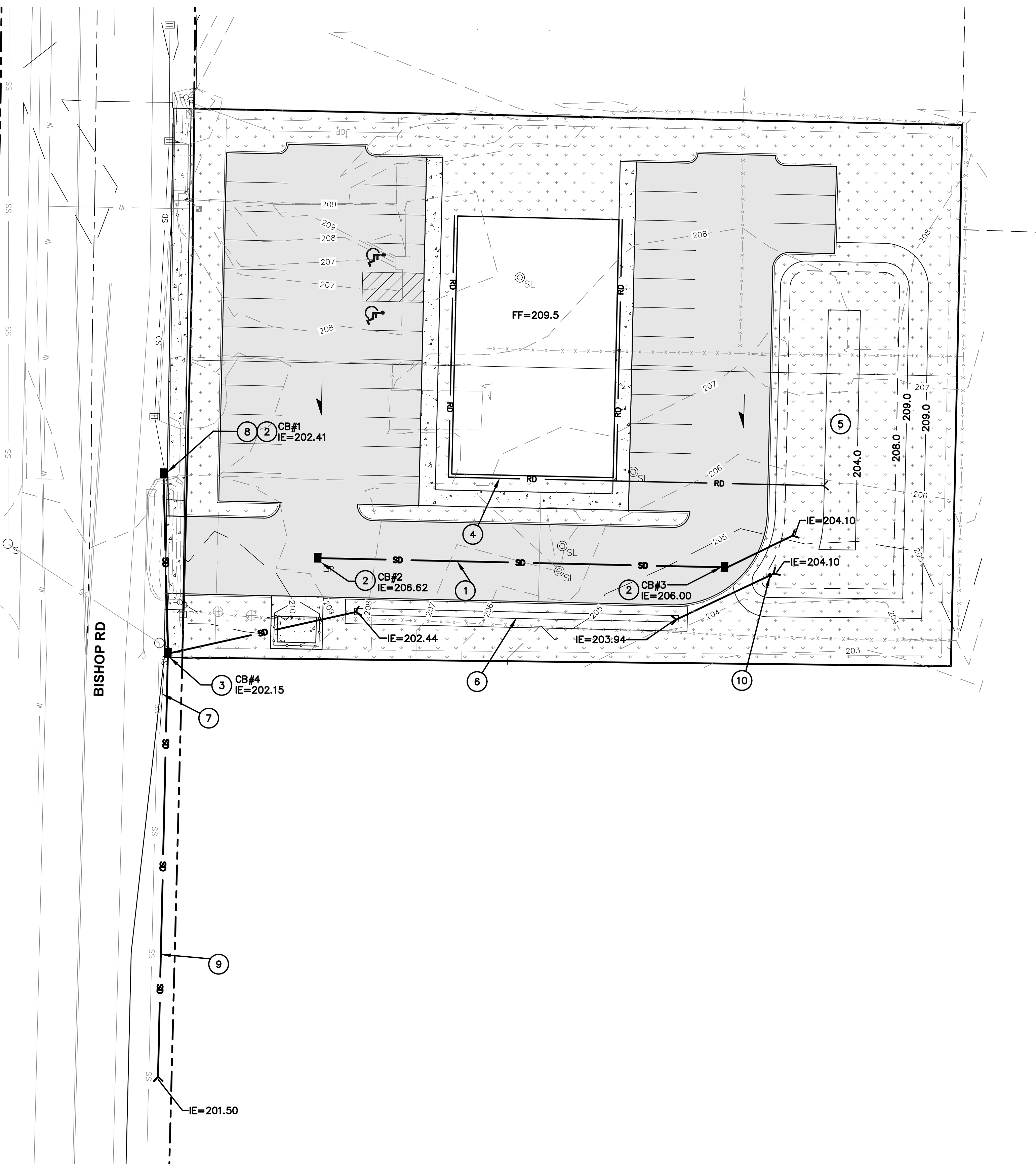
**RB Engineering**  
DESIGN → PERMIT → MANAGE

P.O. Box 923  
CHEHALIS, WA 98532

OFF: (360) 740-8919  
EMAIL: [CarlProse@RBEngineers.com](mailto:CarlProse@RBEngineers.com)

**811** Know what's below. Call 811 before you dig.

JOB NUMBER: 21140  
DRAWING NAME: 21140\_PSP  
**P0.1**  
1 OF 6



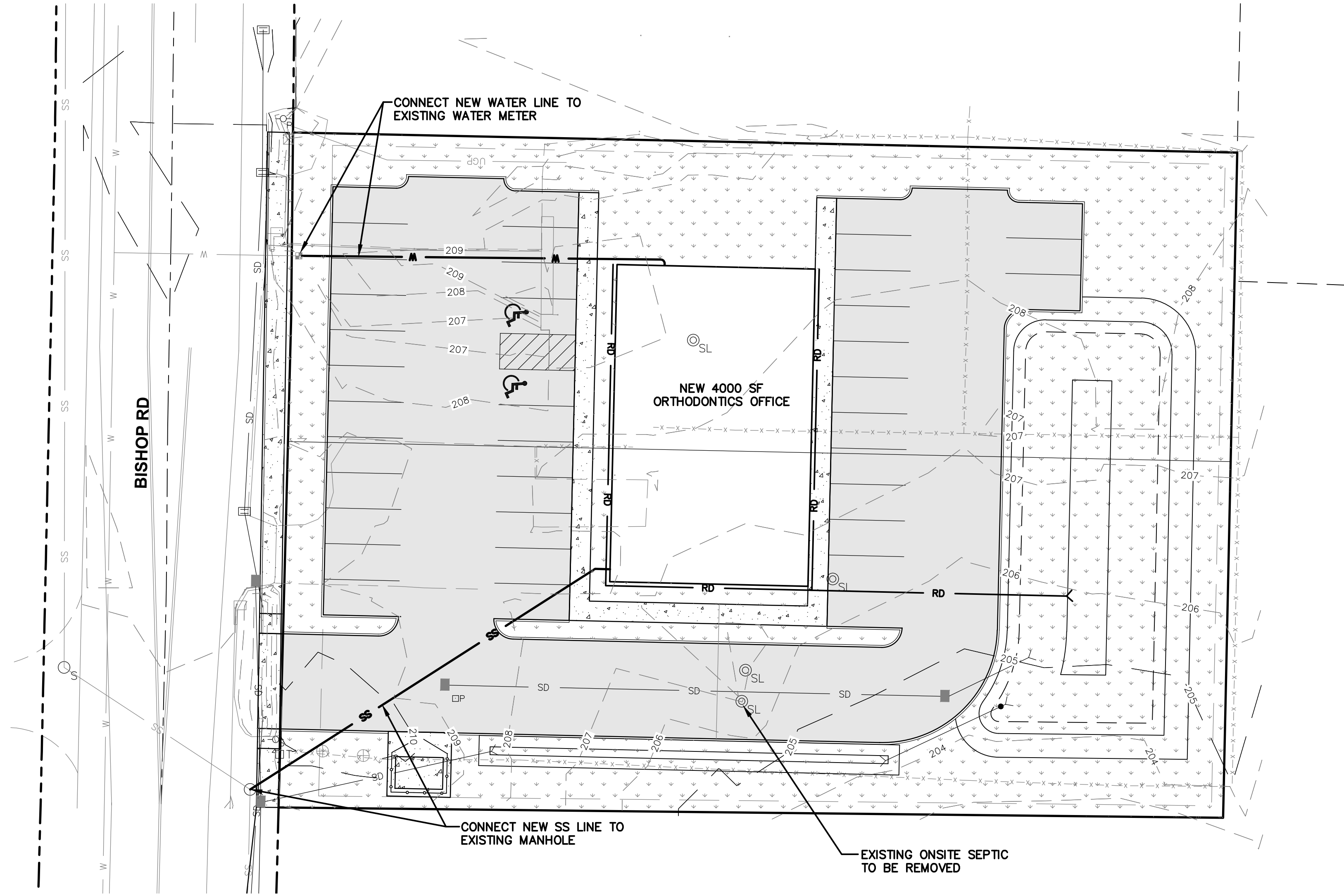
**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

- 1 INSTALL ADS N-12 OR EQUAL STORM DRAIN PIPE PER PLAN.
- 2 INSTALL TYPE 1 CATCHBASINS PER PLAN AND DETAIL ON SHEET P1.4.
- 3 INSTALL NEW CURB INLET CATCH BASIN PER PLAN AND DETAIL ON SHEET P1.4.
- 4 INSTALL 6 INCH SDR 35 PVC ROOF DRAIN.
- 5 GRADE NEW DETENTION POND PER PLAN AND CROSS SECTION ON SHEET P1.4.
- 6 GRADE NEW 2' WIDE BIO-SWALE PER PLAN AND DETAIL ON SHEET P1.4.
- 7 REMOVE EXISTING STORM CULVERT.
- 8 CONNECT EXISTING STORM PIPE TO NEW CATCH BASIN.
- 9 DAYLIGHT NEW STORM PIPE TO EXISTING DITCH ROUGHLY 130' SOUTH OF PROPERTY.
- 10 INSTALL FLOW CONTROL STRUCTURE IN POND PER PLAN AND DETAIL ON SHEET P1.4.

NO.	DATE	DESIGNED BY: ZRW	DRAWN BY: ZRW	CHECKED BY: RWB	DATE: 7/6/22	SCALE:
<b>WAGNER ORTHODONTICS</b>						
<b>PRELIMINARY GRADING AND DRAINAGE PLAN</b>						
<b>RB Engineering</b> DESIGN → PERMIT → MANAGE P.O. Box 923 CHEHALIS, WA 98532 OFF: (360) 740-8819 EMAIL: <a href="mailto:CarlPross@RBEngineers.com">CarlPross@RBEngineers.com</a>						
JOB NUMBER 21140 DRAWING NAME 21140_PGDP <b>P1.1</b> 2 OF 6						



SCALE: 1"=20 FEET  
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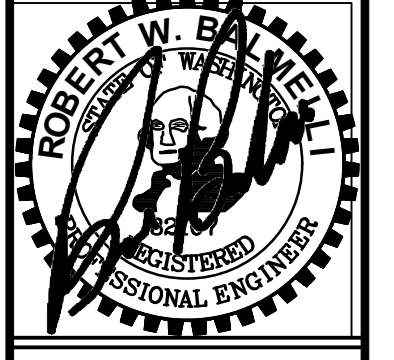


NO.	DATE	REVISION

DESIGNED BY: ZRW  
 DRAWN BY: ZRW  
 CHECKED BY: RWB  
 DATE: 7/6/22  
 SCALE: WA.

WAGNER ORTHODONTICS  
 CHEHALIS WA.

PRELIMINARY UTILITY PLAN

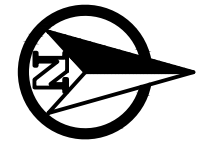


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 EMAIL: [info@rbengineers.com](mailto:info@rbengineers.com)

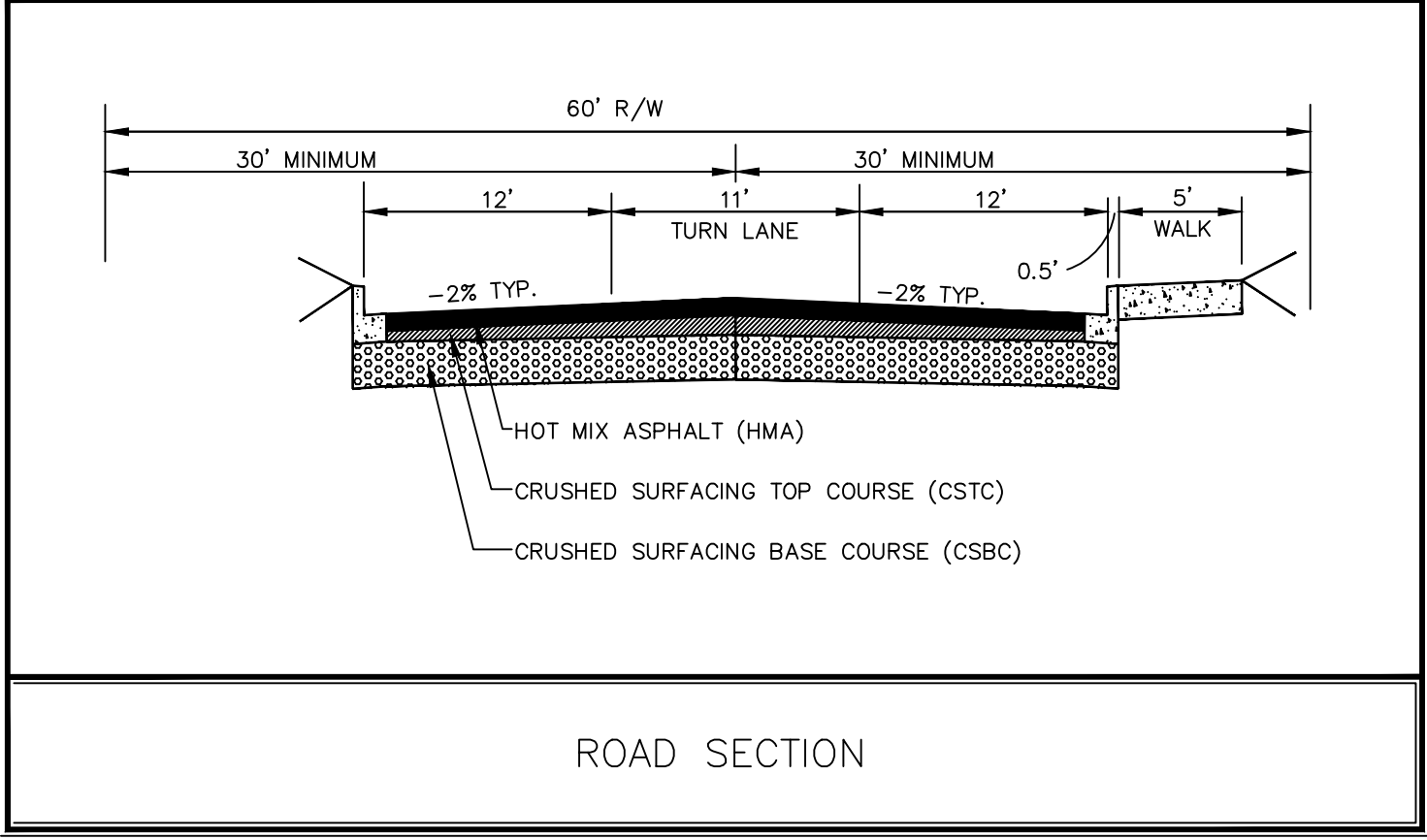
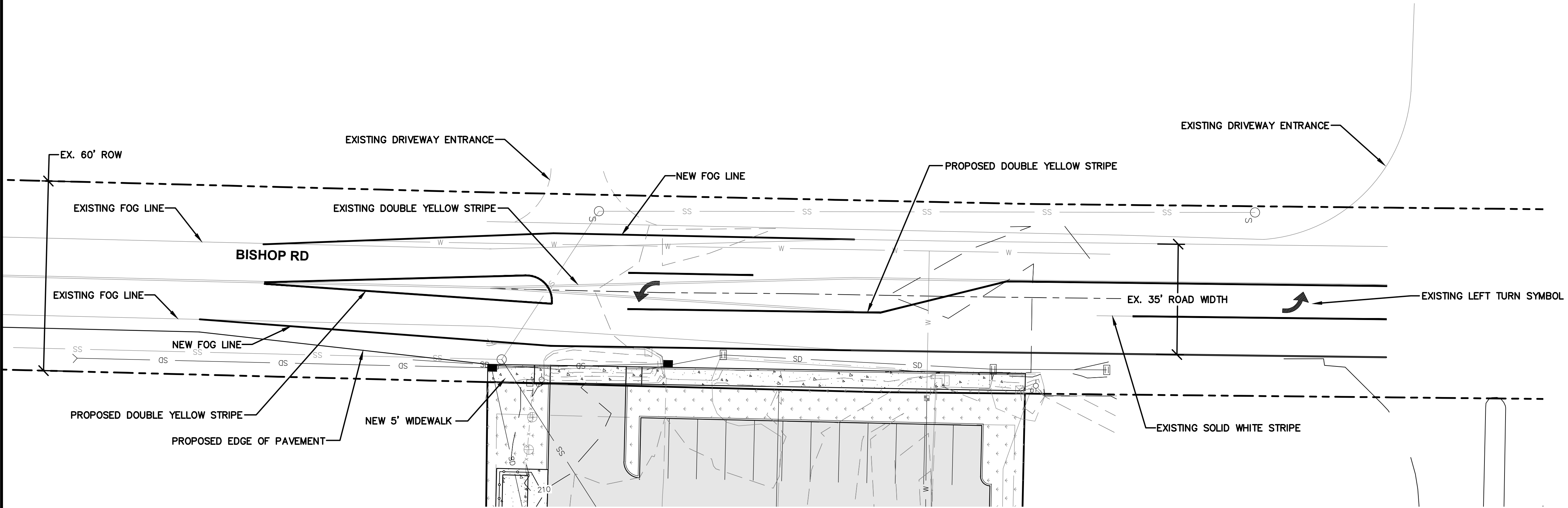
**811** Know what's below. Call 811 before you dig.

JOB NUMBER  
21140  
 DRAWING NAME  
21140\_PUP  
**P1.2**  
 3 OF 6





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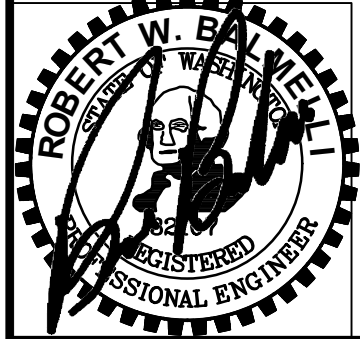


NO.	DATE	REVISION

DESIGNED BY: ZRW  
 DRAWN BY: ZRW  
 CHECKED BY: RWB  
 DATE: 7/6/22  
 SCALE:

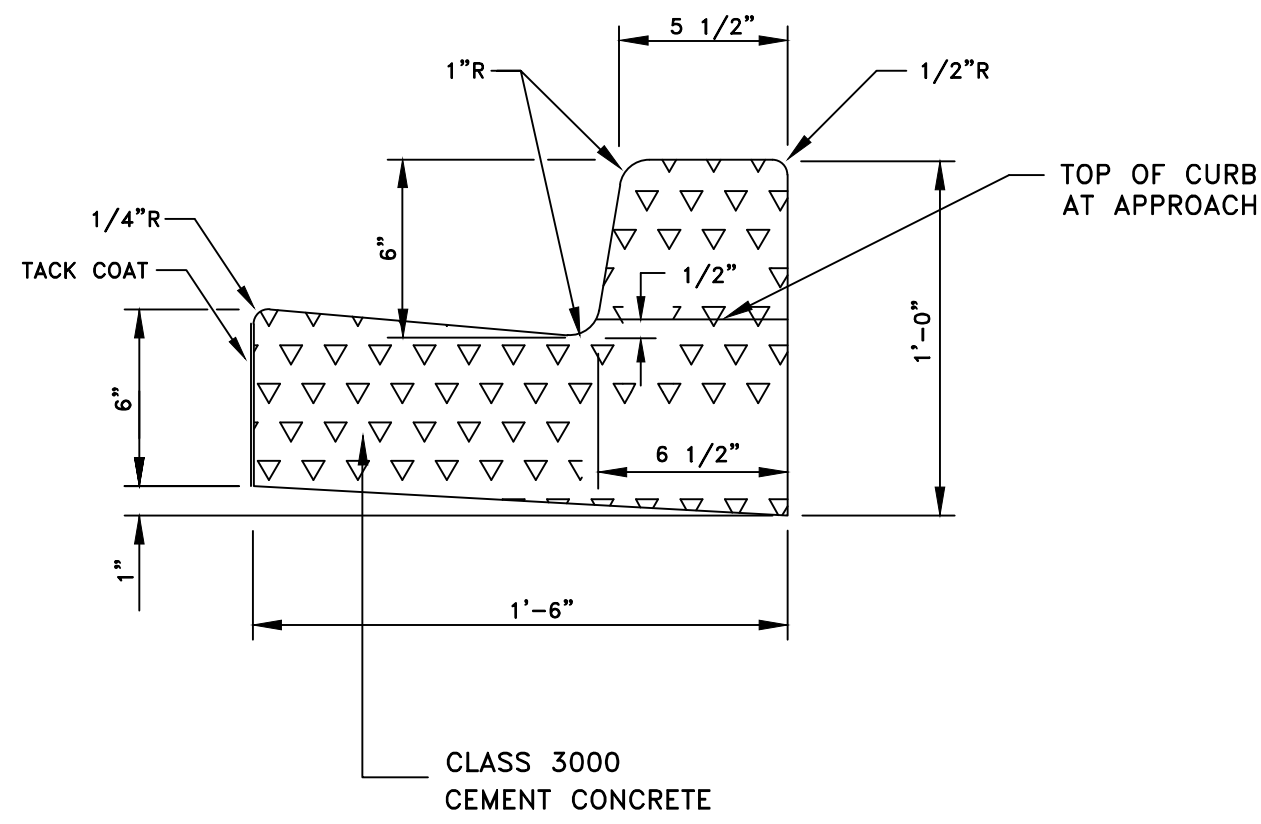
WAGNER ORTHODONTICS  
 CHEHALIS WA.

PRELIMINARY FRONTAGE  
 IMPROVEMENT PLAN



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 CHEHALIS, WA 98532  
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 EMAIL: [info@rbengineers.com](mailto:info@rbengineers.com)

**811** Know what's below. Call 811 before you dig.  
 JOB NUMBER: 21140  
 DRAWING NAME: 21140\_PFI  
**P1.3**  
 4 OF 6

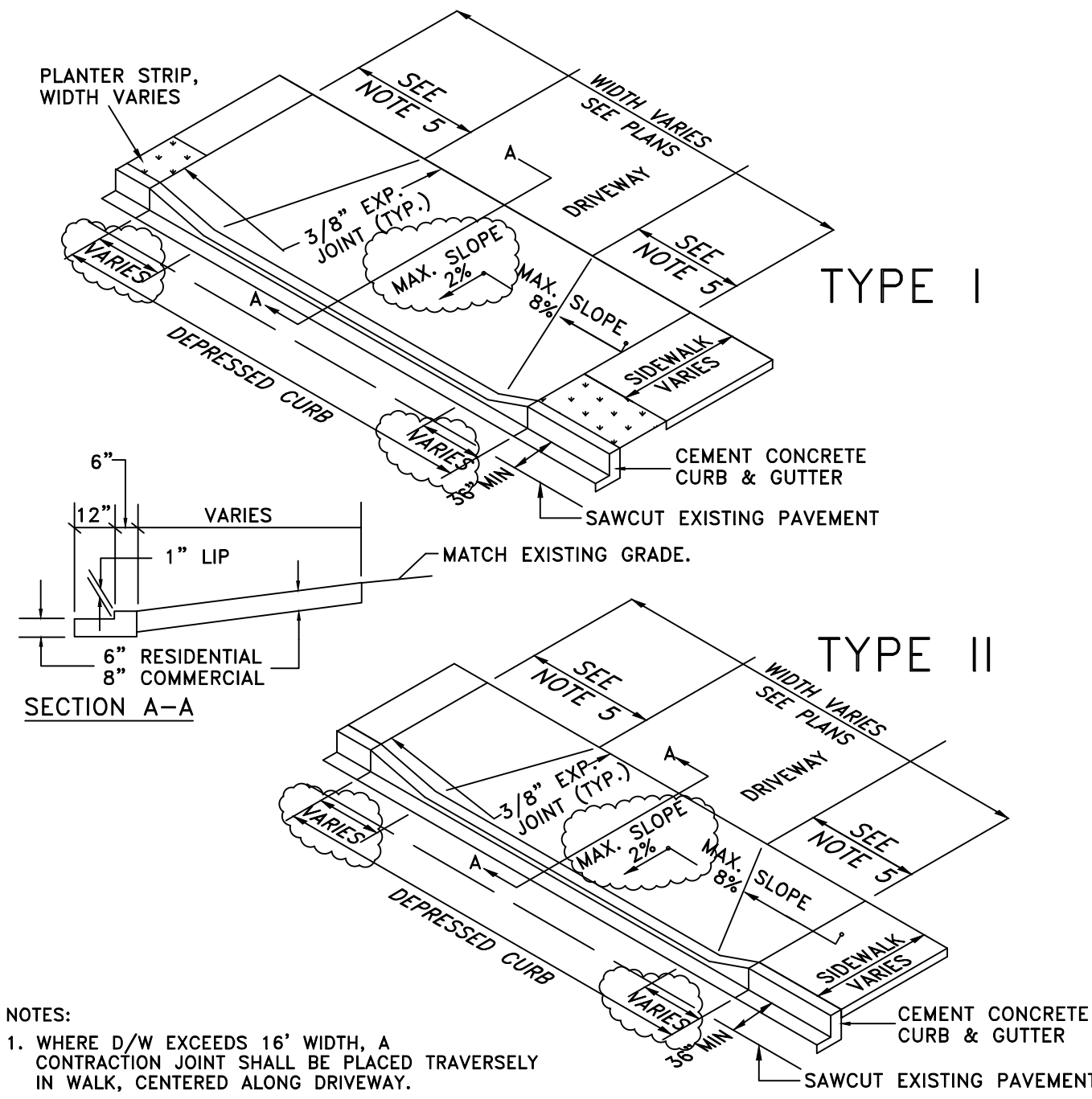


GENERAL NOTES:

1. EXPANSION JOINT MATERIAL TO BE 3/8" THICK PREMOLDED JOINT FILLER FULL THICKNESS OF CONCRETE.
2. FORM AND SUBGRADE INSPECTION REQUIRED BEFORE POURING CONCRETE.
3. SUBGRADE AND BASE REQUIREMENTS SHALL BE THE SAME AS FOR PAVEMENT RESTORATION.

<i>City of Chehalis</i>	
<b>CEMENT CONCRETE CURB &amp; GUTTER</b>	
APPROVED BY	DWG. NO.
	2-7
	REVISED DATE
	1/02/2003
CITY ENGINEER	

Drawing Not to Scale

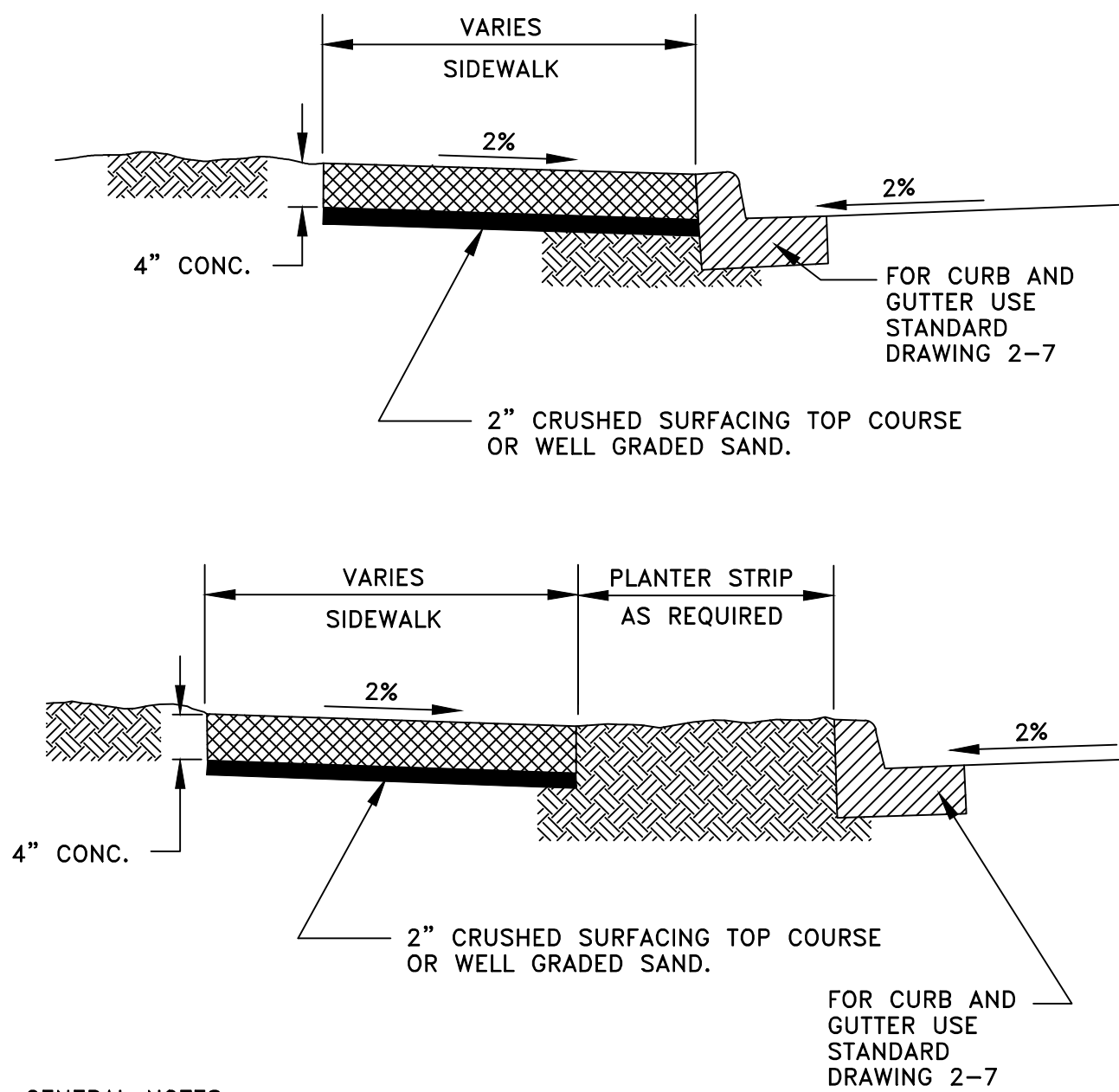


NOTES:

1. WHERE D/W EXCEEDS 16' WIDTH, A CONTRACTION JOINT SHALL BE PLACED TRAVERSELY IN WALK, CENTERED ALONG DRIVEWAY.
2. EXPANSION JOINTS ARE REQUIRED TO ENSURE ISOLATION WHEN NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE OR EXISTING FEATURES.
3. EXPANSION JOINT MATERIAL TO BE 3/8" THICK PREMOLDED JOINT FILLER FULL THICKNESS.
4. FORM AND SUBGRADE INSPECTION ARE REQUIRED BEFORE PLACING CONCRETE.
5. TRANSITION WIDTH WILL VARY DEPENDING ON DRIVEWAY SLOPE. MAINTAIN MAXIMUM 12:1 TRANSITION SLOPE.
6. WHEN CHECKED WITH A 10 FOOT STRAIGHTEDGE, GRADE SHALL NOT DEVIATE MORE THAN 1/8 INCH & ALIGNMENT SHALL NOT VARY MORE THAN 1/4 INCH.
7. BROOM FINISH LONGITUDINALLY WITH LIGHT BROOM FINISH.

<i>City of Chehalis</i>	
<b>CEMENT CONCRETE DRIVEWAY</b>	
APPROVED BY	DWG. NO.
	2-8
	REVISED DATE
	4/14/2010
CITY ENGINEER	

Drawing Not to Scale

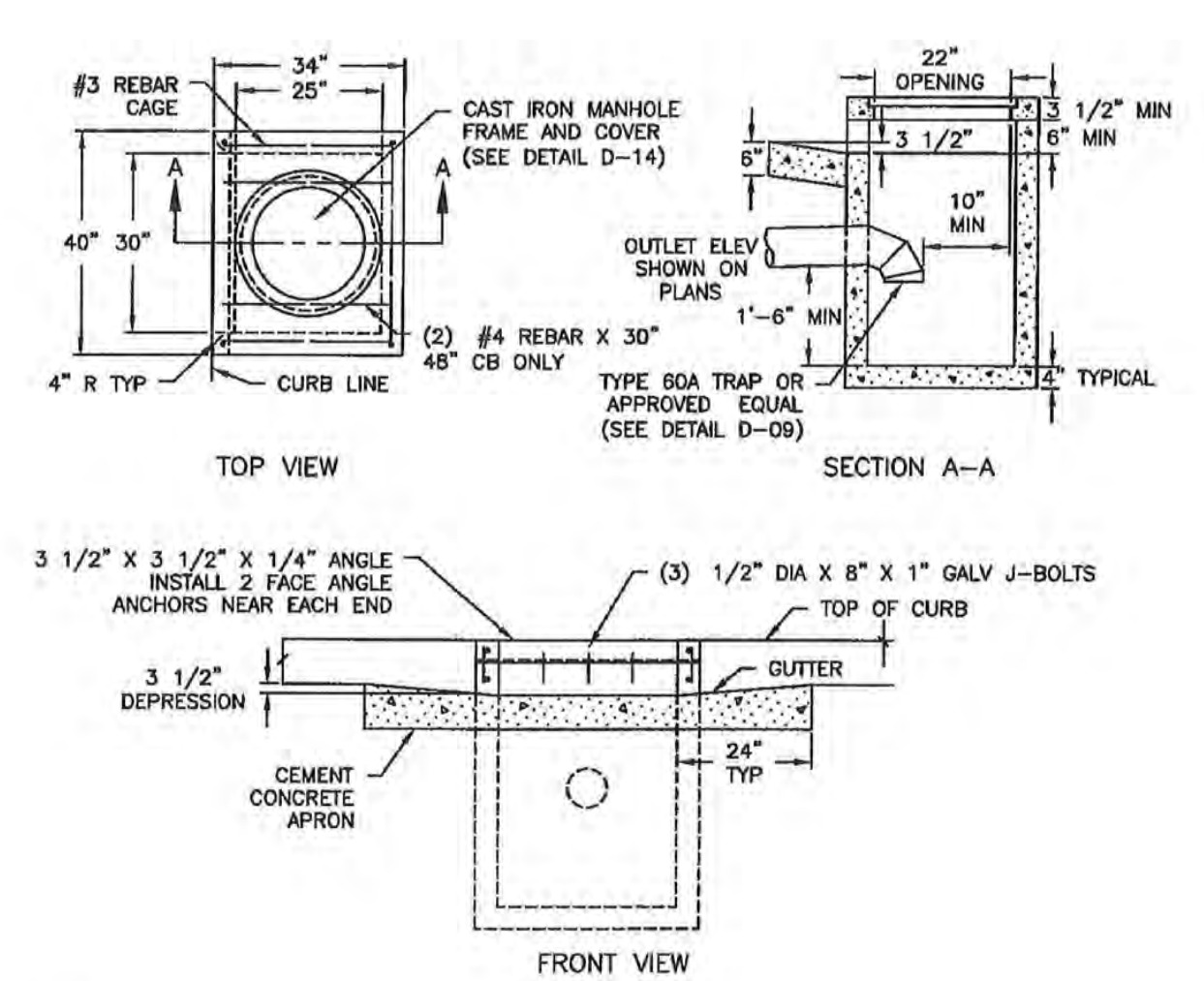


GENERAL NOTES:

1. REFER TO STANDARD DRAWING 2-10 FOR INFORMATION ON JOINTS AND SCORING.
2. SIDEWALK ACROSS CONCRETE DRIVEWAYS REQUIRE A MINIMUM DEPTH OF 6" FOR RESIDENTIAL DRIVES & 8" FOR ALL OTHER DRIVES.
3. WHEN CHECKED WITH A 10' STRAIGHTEDGE, GRADE SHALL NOT DEVIATE MORE THAN 1/8 INCH & ALIGNMENT SHALL NOT VARY MORE THAN 1/4 INCH.

<i>City of Chehalis</i>	
<b>SIDEWALK</b>	
APPROVED BY	DWG. NO.
	2-9
	REVISED DATE
	1/02/2003
CITY ENGINEER	

Drawing Not to Scale



NOTES:

1. LATERALS WILL BE CONSTRUCTED TO ENTER THE BASIN PERPENDICULAR TO THE BASIN WALL. THE LATERAL WILL ENTER ONLY AT THE FRONT OR SIDE OF THE BASIN WITH NO LATERALS ALLOWED TO ENTER THE CATCH BASIN AT THE CORNERS. IF NEEDED, A BEND MAY BE USED AS THE FIRST SECTION OF PIPE OUTSIDE THE BASIN WALL. THE MAXIMUM BEND ALLOWED IS 45 DEGREES.
2. ALL REINFORCED STEEL SHALL HAVE A 1-1/2" CLEAR COVER UNLESS OTHERWISE NOTED, AND SHALL BE GRADE 40 OR GRADE 60 (ASTM A-615).
3. ANY PROTRUDING ENDS OF PIPES SHALL BE TRIMMED FLUSH WITH THE INSIDE WALLS AND GROUTED.
4. THE METAL FRAME AND GRATE SHALL BE SET TO A SLOPE TO CONFORM TO THE PARTICULAR DRAINAGE AREA (SEE DETAIL D-08).
5. ELBOW SECTION SHALL BE REMOVABLE FOR MAINTENANCE PURPOSES USING A BELL AND SPIGOT JOINT.
6. ALL PRECAST OR CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.

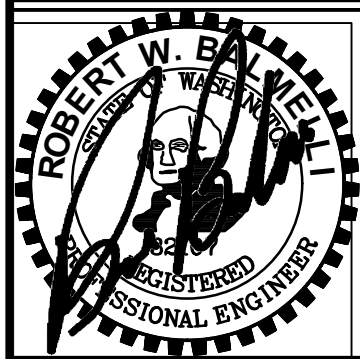
<i>City of Chehalis</i>	
<b>CURB INLET</b>	
APPROVED BY	DWG. NO.
	2-9
	REVISED DATE
	1/02/2003
CITY ENGINEER	

Drawing Not to Scale

NO.	DATE	REVISION
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DRAWN BY:	ZRW	
CHECKED BY:	RWB	
DATE:	7/6/22	
SCALE:		

WAGNER ORTHODONTICS  
WA.  
CHEHALIS

PRELIMINARY DETAILS AND CROSS SECTIONS



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EMAIL: [info@rbengineers.com](mailto:info@rbengineers.com)

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CHEHALIS, WA 98532

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JOB NUMBER: 21140  
DRAWING NAME: 21140\_PDCS  
**P1.4**  
5 OF 6

EFFECTIVE: August 5, 2018 TO September 2, 2019

**PIPE ALLOWANCES**

PIPE MATERIAL	MAXIMUM INSIDE DIAMETER (INCHES)
REINFORCED OR PLAN CONCRETE	12"
ALL METAL PIPE	15"
CPRE# (STD. SPEC. SECT. 9-05.23)	12"
SOLID WALL PVC (STD. SPEC. SECT. 9-05.12(1))	15"
PROFILE WALL PVC (STD. SPEC. SECT. 9-05.12(2))	15"

\* CORRUGATED POLYETHYLENE STORM SEWER PIPE

EFFECTIVE: August 5, 2018 TO September 2, 2019

**NOTES:**

1. As acceptable alternatives to the rebar shown in the PRECAST BASE SECTION, fibers (placed according to the Standard Specifications), or wire mesh having a minimum area of 0.12 square inches per foot shall be used with the minimum required rebar shown in the ALTERNATIVE PRECAST BASE SECTION. Wire mesh shall not be placed in the knockouts.
2. The knockout diameter shall not be greater than 20" (in). Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.
3. The maximum depth from the finished grade to the lowest pipe invert shall be 5' (ft).
4. The frame and grate may be installed with the flange down, or integrally cast into the adjustment section with flange up.
5. The Precast Base Section may have a rounded floor, and the walls may be sloped at a rate of 1:24 or steeper.
6. The opening shall be measured at the top of the Precast Base Section.
7. All pickup holes shall be grouted full after the basin has been placed.

**CATCH BASIN TYPE 1**  
STANDARD PLAN B-5.20-02  
SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION  
DATE: 06/26/2017 4:48 AM  
WAGNER ORTHODONTICS  
Washington, State Department of Transportation

EFFECTIVE: August 5, 2018 TO September 2, 2019

**NOTES:**

1. THE UNCOMPACTED SAND LAYING COURSE SHALL BE SPREAD EVENLY OVER THE SUBGRADE, SCREEDED LEVEL AND COMPACTED.
2. ONCE SCREEDED, LEVELED, AND COMPACTED TO THE DESIRED ELEVATION THIS SAND LAYING COURSE SHALL NOT BE DISTURBED IN ANY WAY.
3. MATURE SOD (6 MONTHS OLD)  
40% TALL FESCUE  
30% PERENNIAL RYE  
20% CREEPING FESCUE  
10% HIGHLAND BENT

**BIOFILTRATION SWALE DETAIL**  
N.T.S.

RB ENGINEERING  
BIOFIL\_SWALE.2.dwg

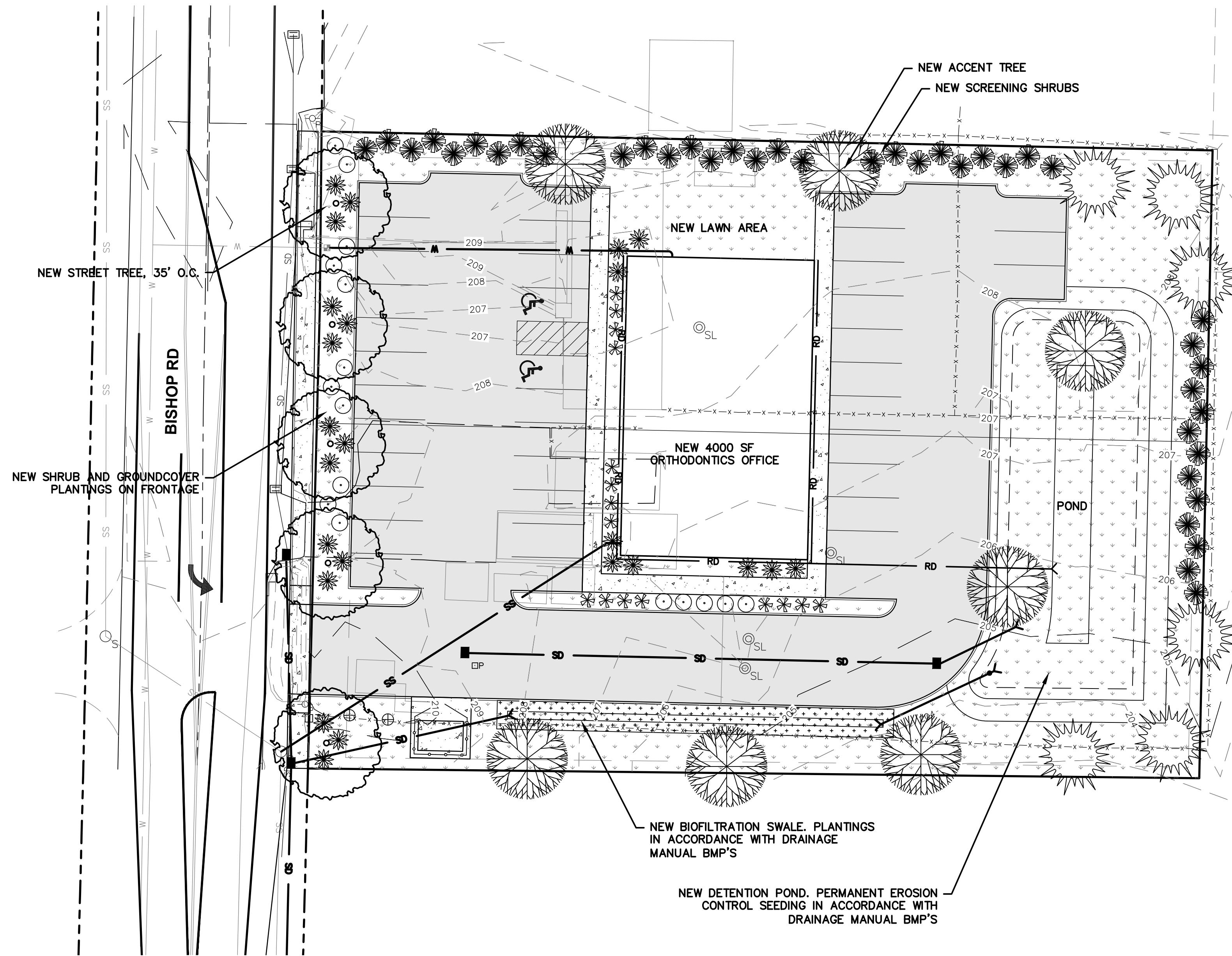
EFFECTIVE: August 5, 2018 TO September 2, 2019

**DETENTION POND**  
N.T.S.

RB ENGINEERING  
DTN\_PND.dwg



SCALE: 1"=20 FEET  
0 10 20 40



36 \*\* PERIMETER BUFFER SHRUBS  
Photinia x fraseri  
Myrica californica  
Evergreen Photinia  
Pacific Wax Myrtle  
5 GAL. 10' O.C.

PRELIMINARY PLANT SCHEDULE

SYMBOL	QTY*	BOTANICAL NAME	COMMON NAME	SIZE	SPACING (NOTES)
	9	SHADE & STREET TREE <i>Acer rubrum 'Franksred'</i> <i>Liquidambar styraciflua</i> <i>Pyrus calleryana</i> <i>Tilia cordata</i>	Red Sunset Maple American Sweetgum Flowering Pear Little-leaf Linden	2.0" CAL. MIN.	B&B/cont.
	18	DECIDUOUS ACCENT TREE <i>Cercis canadensis</i> <i>Cerciphyllum japonicum</i> <i>Fraxinus oxycarpa 'Aureofolia'</i> <i>Betula jacquemontii</i>	Eastern Redbud Katsura Tree Golden Desert Ash Whitebark Himalayan Birch	2" CAL. MIN.	B&B/cont.
	37	EVERGREEN BUFFER TREE <i>Chamaecyparis nootkatensis</i> <i>Pinus nigra</i> <i>Calocedrus decurrens</i> <i>Cedrus decurrens</i>	Alaskan Weeping Cedar Austrian Pine Incense Cedar Deodar Cedar	7-8' HT. MIN.	B&B/cont.
	45 **	SCREENING SHRUBS <i>Thuja occidentalis</i> <i>Euonymus alata 'Compacta'</i> <i>Ilex crenata</i> <i>Prunus lusitanica</i>	Emerald Green Arborvitae Dwarf Burning Bush Japanese Holly Portugese Laurel	5 GAL.	5' O.C.
	* 25	ORNAMENTAL PLANTINGS <i>Nandina Domestica</i> <i>Prunus laurocerasus</i> <i>Spirea x. bumalda</i> <i>Pieris japonica</i>	Heavenly Bamboo 'Otto Luyken' Laurel Gold Mound Spirea 'Lilly Of The Valley' Shrub	3 GAL.	(3)/800SF
		LOW GROWING SHRUB/GROUNDCOVERS <i>Viburnum davidii</i> <i>Euonymus fortunei</i> <i>Archtostryphos uva-ursi</i> <i>Erica</i> <i>Spirea japonica</i> <i>Azalea</i> <i>Cotoneaster dammerii</i> <i>Gaultheria shallon</i>	David's Viburnum 'Emerald Gaiety' Euonymus Kinnickinnick Heather asstd. 'Little Princess' Spirea Azalea spp. Bearberry Salal		
		SEEDED TURF AREA			
		BIOFILTRATION SEED MIX Seed or specie mix as required by the Drainage Manual			

\* PRELIMINARY QUANTITY BASED ON MINIMUM CODE REQUIREMENTS. THE FINAL LANDSCAPE PLAN SHALL BE REVIEWED AND APPROVED ILLUSTRATING THE ACTUAL LANDSCAPE PLANT MATERIALS PROPOSED FOR CONSTRUCTION.  
\*\* SOME SCREENING MATERIAL IS NOT REQUIRED BY CODE  
FINAL LANDSCAPE PLANTING PLANS SHALL ILLUSTRATE LANDSCAPE INSTALLATION DETAILS.  
AREA TAKE OFF ESTIMATE:  
SHRUB/GC AREA: 10,920 S.F. ORNAMENTAL/BUFFER INCL. LAWN AREAS & PARKING ISLANDS  
POND AREA (EST): 7,775 S.F.  
BIOFILTRATION AREA: 850 S.F.  
TOTAL LANDSCAPE AREA TO PREP: 19,545 SQUARE FEET  
EDGING: (TO BE DETERMINED)  
SAFETY SURFACE: N/A

NO.	DATE	REVISION
DESIGNED BY:	CLA	
DRAWN BY:	CLA	
CHECKED BY:	RWB	
DATE:	X/XX/XX	
SCALE:		
WAGNER ORTHODONTICS		WA.
PRELIMINARY LANDSCAPE PLAN		CHEHALIS
<b>RB Engineering</b> CIVIL ENGINEERING - LAND PLANNING - UTILITIES P.O. Box 923 CHEHALIS, WA 98532 OFF: (360) 746-8919 FAX: (360) 746-8912		
JOB NUMBER 21140 DRAWING NAME 21140_PLSP <b>LS1.1</b> 6 OF 5		