

Development Review Committee is represented by the City of Chehalis:  
Building and Planning | Engineering | Public Works | Fire Department | Police Department | Airport

# Development Review Committee Agenda

Chehalis Building and Planning Department

April 3, 2024, at 9 A.M.

Meeting Location: Chehalis Airport Conference Room

**9:00 AM ST-24-0005; 269 Hamilton Rd N. – Warehouse Structure**

Applicant proposes to construct an accessory 40 ft. by 60 ft. steel structure warehouse building anchored to a concrete slab associated with an existing business. Project includes improvements to accommodate utilities and parking.

**9:30 AM ST-24-0006; S. Market Blvd & SE 16<sup>th</sup> Street – Lewis County Transit bus stop within the existing right-of-way**

Applicant proposes to construct a new transit shelter within the existing public right-of-way (NE quadrant of S. Market Blvd and SE 16<sup>th</sup> Street intersection), including new curb, gutter, sidewalk, and ADA ramp.

**10:00 AM ST-24-0014; 151 Hampe Way - Tap room & associated food truck area/enclosure at the Lewis County Mall**

Applicant proposes to construct a tap room with two restrooms and 10 spaces for food carts with utility hook-ups.

**10:30 Interdepartmental staff meeting.**

Join Zoom Meeting

<https://us06web.zoom.us/j/83910241095?pwd=dUIlYm0rTkt6SHZCZjkxUTRlVDBUUT09>

# Directions to Development Review Committee

Chehalis Airport Conference Room



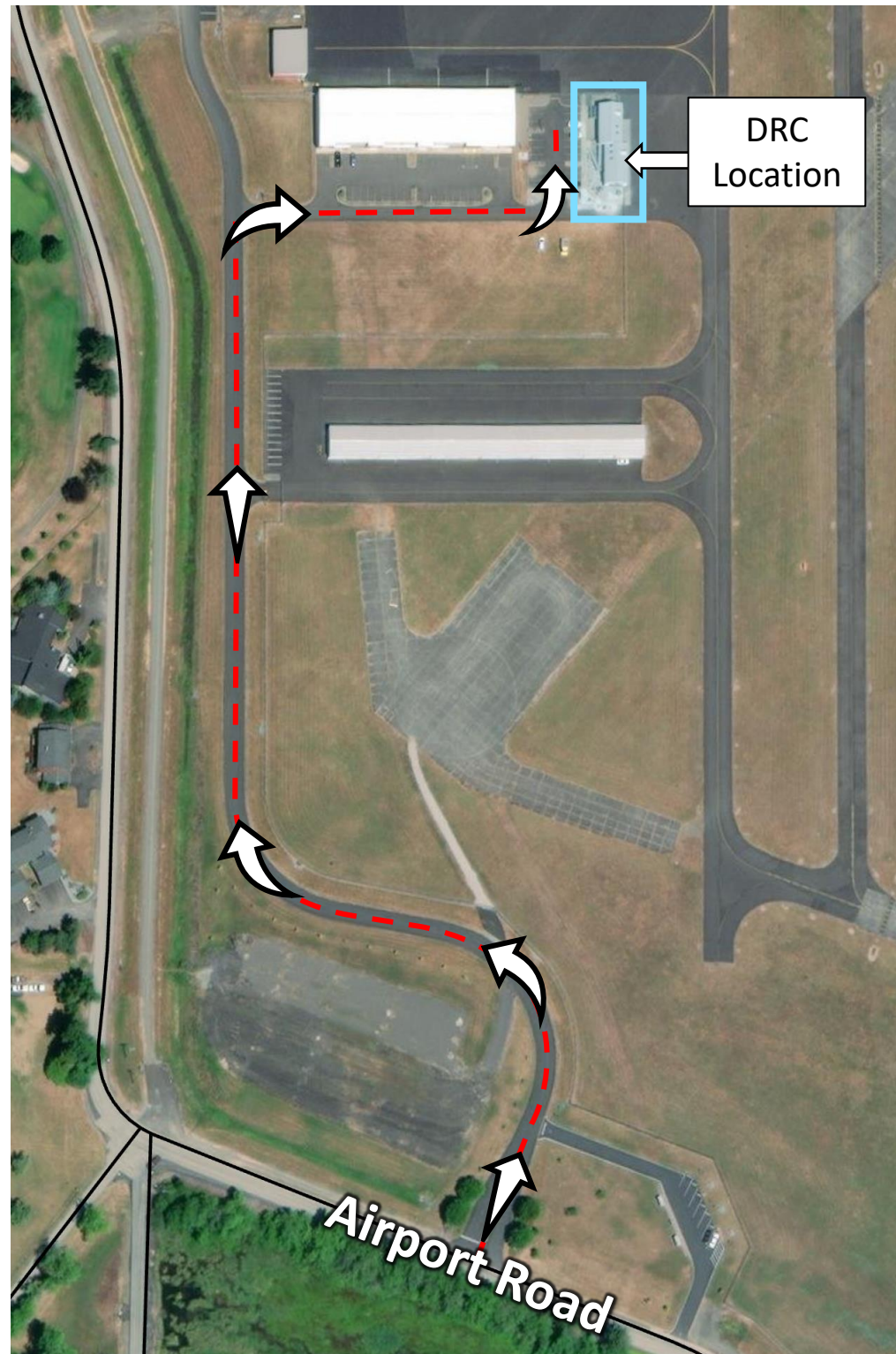
Coordinates:

(46.672787, -122.984924)

or

46° 40' 22.0332" N

122° 59' 5.7264" W





**Return your permit application to Community Development Department**

1321 S Market Blvd. Chehalis, WA 98532

(360) 345-2229

[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

Job address: 269 Hamilton Rd. N.

Parcel #: 017765001001

**Applicant/Contact person**

Name: Aaron Prothero / Truck Parts Sales Inc.

Mailing address: 269 Hamilton Rd. N.

City, State, and Zip: Chehalis, WA 98532

Phone #: 360-520-0331 Email: (required) aaron@truckpartssalesinc.com

**Contractor/Engineer/Surveyor**

Contact Name: Lynette Cassel

Company/Firm Name: American Carports Inc.

Mailing address: 457 N. Broadway

City, State, and Zip: Joshua, TX 76058

Phone #: 866-730-9865 Email: (required) lynette@americansteelstructures.com

Contractor's L&I #: AMERICI812RF

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)

Construct a 40x60 Steel structure anchored to a concrete slab that will be utilized for warehousing.

Current market value of proposed work: 100,000.00  
(Fair market labor and materials)

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: 	Date: <u>02/06/2024</u>
--	-------------------------

Print Name: Aaron Prothero

*Office use only*

Received by: _____	Date Received: _____
Parcel #: _____	
Permit #: _____	
Zoning: _____	
Flood Zone:    yes    no    Zone Classification: _____	



**Return your permit application to Community Development Department**  
 1321 S Market Blvd. Chehalis, WA 98532  
 (360) 345-2229  
[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

Job address: 269 Hamilton Rd. N.

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Mailing address: 269 Hamilton Rd. N.

City, State, and Zip: Chehalis, WA 98532

Phone #: 360-520-0331 Email: (required) aaron@truckpartssalesinc.com

**Contractor/Engineer/Surveyor**

Contact Name: Scott Harlan

Company/Firm Name: Artistry Construction LLC

Mailing address: 174 Maple Ridge Rd.

City, State, and Zip: Onalaska, WA 98570

Phone #: 360-903-7176 Email: (required) scott-hei@hotmail.com

Contractor's L&I #: ARTISCL818BC

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)

Construct a 60x40 concrete pad for a steel structure to be anchored to. Also to provide installation of the stormwater runoff underground pipes.

Current market value of proposed work: 40,000.00  
 (Fair market labor and materials)

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: 	Date: <u>02/06/2024</u>
--	-------------------------

Print Name: Aaron Prothero

*Office use only*

Received by: _____	Date Received: _____
Parcel #: _____	
Permit #: _____	
Zoning: _____	
Flood Zone:    yes    no    Zone Classification: _____	



1111 Kresky Ave., Suite 100  
Centralia, WA 98531  
(360)807-4420

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2/6/2024

To: City of Chehalis Community Development Department  
1321 S Market Blvd, Chehalis, WA 98532

Re: 269 Hamilton Rd N.  
Project: Pole Barn  
Parcel #: 017765001001

City of Chehalis Staff,

Please accept this narrative and attached site plans for submittal. The following narrative is intended to provide an overall direction of the development and help address any issues that might arise over the course of the project.

### **Existing Conditions**

The current property site consists of a combination of asphalt and gravel. There is an existing building that Truck Parts Sales operates out of. This building will remain. Various vehicles and storage containers are in the lot and the property is surrounded by a chain-link fence. Near the southwest portion of the site is an existing rain garden that appears to support stormwater mitigation for the project site.

### **Proposed Improvements**

This project proposes to construct a 40'x60' steel structure anchored to a concrete slab with a 18"x18" footer that will be utilized for warehousing, shipping, and receiving. The steel structure intends to sit on an area which is currently graveled. On the steel structure, there will be a 14' sidewall with a single 12'x12' roll-up door and a single one-man door. The existing fence and building will remain. Runoff will be mitigated through roof drains and piped to the existing rain garden. Utilities will be extended from the mainlines along Hamilton Rd.

### **Zoning**

The project's zoning is CG- General Commercial. A small warehouse/shipping facility is an allowed use.

### **Water**

Water runs parallel to the site along Hamilton Rd and is already extended to the existing building onsite. Intent is to extend piping from the existing building to the proposed building. No new water service is expected.

### **Sewer**

Sewer also runs parallel to the site along Hamilton Rd. Service from the existing building may be extended to this proposed accessory building.

### Stormwater

The development requires an abbreviated drainage report with LID compliance. The drainage report will include minimum requirements #1 through #5 due to more than 2,000 square feet or greater of new plus replaced hard surface area. There is an existing rain garden located in the southwest corner of the property.

On the new building, gutter downspouts will be installed for drainage runoff from the roof. These will consolidate to the southwest corner of the proposed building and will be piped to the existing rain garden. The rest of the lot will maintain the existing grade and drainage into the rain garden.

### Critical Areas

There are few critical areas on this site. According to Lewis County GIS data, there are hydric soils present on site. Also, the site is in a Critical Aquifer Recharge Area (Category 1).

### Dry Utilities – Power/Communication

Power and communications run overhead along Hamilton Rd on the opposite side of the road from the project site. Dry utilities run underground to extend onsite and will likely be continued underground to connect to the proposed dwelling. Coordination with Chehalis PUD will confirm this.

### Roads/Access

There is currently a gate access with a driveway located off Hamilton Rd. The fence will remain. Trenching in ROW is not anticipated. If it is, a ROW permit will be applied for, and any chip seal will be restored.

### Buildings

There is an existing building that Truck Parts Sales operates out of. This building will remain. The new building that is proposed will be located slightly northwest of the existing building.

All proposed building permits will be applied for and approved before building construction begins.

Thank you for accepting this application for submittal. We look forward to receiving your comments. Feel free to call or email if you have any questions.

Sincerely,

Aaron Fuller  
Fuller Designs  
afuller@fullerdesigns.org  
(360) 807-4420

**PROJECT INFORMATION:**

APPLICANT: AARON PROTHERO  
269 N HAMILTON RD  
CHEHALIS, WA 98532

SITE ADDRESS: 269 N HAMILTON RD  
CHEHALIS, WA 98532

PARCEL NUMBER: 017765001001

ZONING (CITY): CG - GENERAL COMMERCIAL

LOTS: 1 EXISTING 1 PROPOSED

ACRES: 2.00

SITE SOILS: REED SILTY CLAY LOAM

WATER: CITY OF CHEHALIS

SANITARY SEWER: CITY OF CHEHALIS

GRADING: 10 CY CUT  
10 CY FILL

PARKING STALLS: EXISTING TO REMAIN

**GEOTECHNICAL INFORMATION:**

A GEOTECHNICAL REPORT WAS NOT PREPARED FOR THIS PROJECT. IN LIEU OF A REPORT ALL CONSTRUCTION SHALL COMPLY WITH STANDARD SPECIFICATIONS.

**TOPOGRAPHIC INFORMATION:**

TOPOGRAPHIC INFORMATION DEPICTED IN THESE DRAWINGS WAS PROVIDED BY LEWIS COUNTY GIS DATA. TOPOGRAPHIC INFORMATION WAS NOT FIELD VERIFIED BY FULLER DESIGNS.

**LEGEND**

LINETYPES		DESC.
EXISTING	PROPOSED	
---	---	BUILDING FOOTPRINT
---	---	BUILDING SETBACK
-CG-	-CG-	CLEARING AND GRUBBING
XX	XX	CONTOUR LINE (MAJOR)
XX	XX	CONTOUR LINE (MINOR)
---	---	CULVERT
---	---	DITCH
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	EDGE OF GRAVEL
-X-X-	-X-X-	FENCE
-FM-	-FM-	FORCE MAIN
-G-	-G-	GAS MAIN
-GB-	-GB-	GRADE BREAK
---	---	LANDSCAPE
---	---	LOT LINE
---	---	PROJECT BOUNDARY
---	---	RIGHT-OF-WAY
---	---	ROAD CENTERLINE
---	---	ROAD CUT LINE
-SS-	-SS-	SANITARY SEWER PIPE
-ST-	-ST-	STORM PIPE
---	---	SIDEWALK
---	---	SILT FENCE
-UE-	-UE-	UNDERGROUND ELECTRIC
-OE-	-OE-	OVERHEAD ELECTRIC
-OT-	-OT-	TELECOMMUNICATION
-W-	-W-	WATER
---	---	STREAM
---	---	ENHANCED BUFFER BOUNDARY LINE

HATCH		DESC.
EXISTING	PROPOSED	
[Pattern]	[Pattern]	AC PAVEMENT
[Pattern]	[Pattern]	GRAVEL
[Pattern]	[Pattern]	CONCRETE
[Pattern]	[Pattern]	LANDSCAPE / GRASS AREA

**ABBREVIATIONS:**

AC	ASPHALT CONCRETE
BCR	BEGIN CURB RETURN
BM	BENCHMARK
BVCS	BEGIN VERTICAL CURVE STATION
BCVE	BEGIN VERTICAL CURVE ELEVATION
BLDG	BUILDING
CATV	CABLE TELEVISION
CB	CATCH BASIN
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CY	CUBIC YARD
°	DEGREES
Ø	DIAMETER
EE	ELECTRICAL
ECR	END CURB RETURN
EL	ELEVATION
EOP	EDGE OF PAVEMENT
EVCS	END VERTICAL CURVE STATION
EVCE	END VERTICAL CURVE ELEVATION
EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FM	FORCE MAIN
G	GAS
GB	GRADE BREAK
GL	GUTTER LINE ELEVATION
GM	GAS METER
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
IE	INVERT ELEVATION
K	CALCULATED CURVE VALUE
L	LENGTH
LCV	LENGTH VERTICAL CURVE
LF	LINEAR FEET
LT	LEFT
M	METER
MH	MAN HOLE
MJ	MECHANICAL JOINT
NAP	NOT A PART OF PROJECT
NFC	NOT FOR CONSTRUCTION
OHP	OVER HEAD POWER
P	POWER
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
POB	POINT OF BEGINNING
POC	POINT OF CONNECTION
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PVC	POLY-VINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
RFC	RELEASED FOR CONSTRUCTION
ROW	RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
RT	RIGHT
S	SLOPE
SF	SQUARE FOOT
SD	STORM DRAIN
SS	SANITARY SEWER
ST	STORM
STA	STATION
SW	SIDEWALK
T	TELEPHONE
TB	TRUST BLOCK
TC	TOP OF CURB/CONCRETE
TESC	TEMPORARY EROSION AND SEDIMENT CONTROL
TG	TOP OF GRATE
TYP	TYPICAL
UGP	UNDERGROUND POWER
W	WATER
WM	WATER METER
WV	WATER VALVE
WW	SIDEWALK ELEVATION
±	APPROXIMATELY
%	PERCENT
Δ	DELTA

**SYMBOLS**

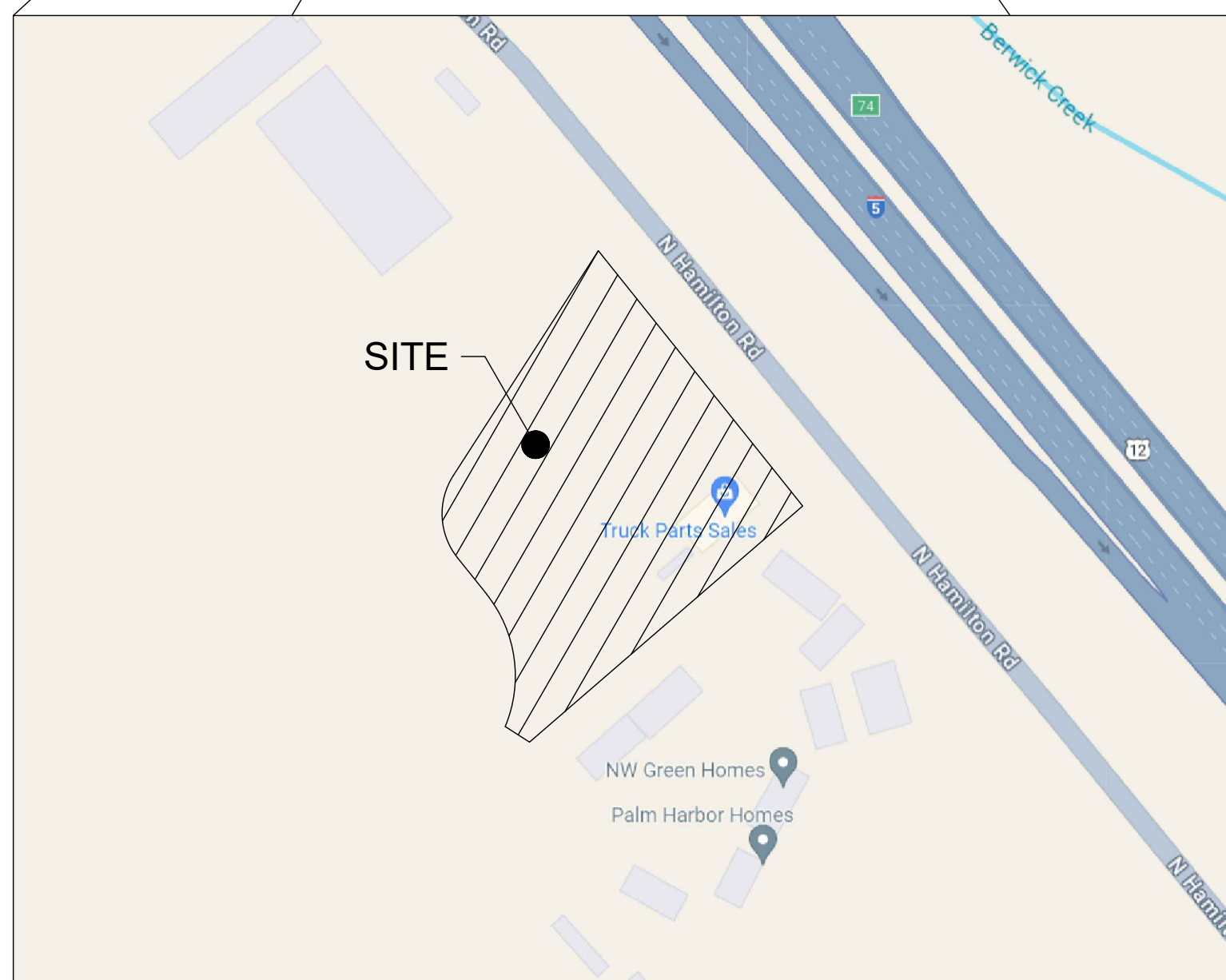
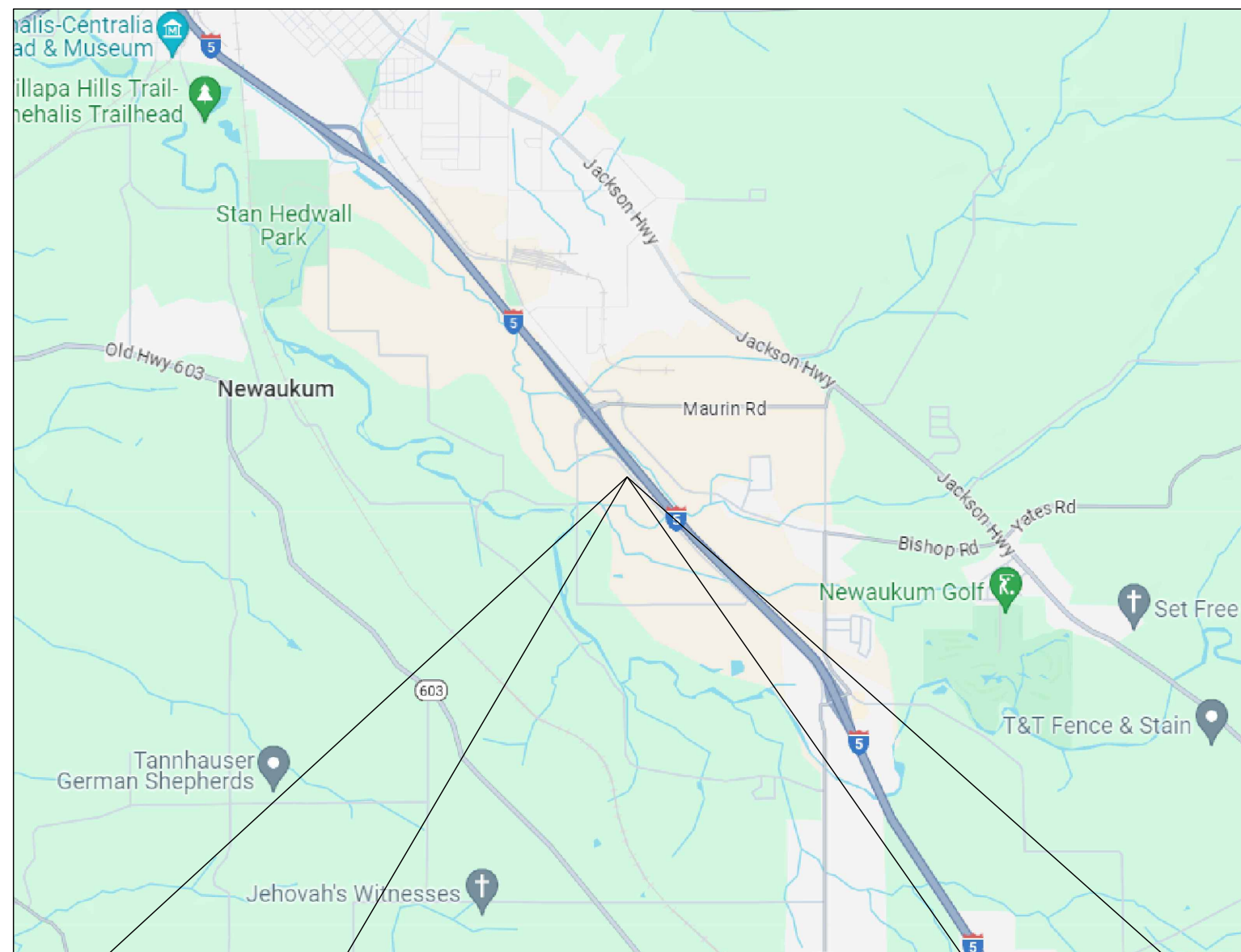
EXISTING	PROPOSED	DESC.
[Symbol]	[Symbol]	CATCH BASIN
[Symbol]	[Symbol]	POWER VAULT
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	ILLUMINARE & POLE
[Symbol]	[Symbol]	JUNCTION BOX
[Symbol]	[Symbol]	MAIL BOX
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	STORM MANHOLE
[Symbol]	[Symbol]	SERVICE DISCONNECT
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	SURFACE FLOW
[Symbol]	[Symbol]	TELECOMMUNICATION PEDESTAL
[Symbol]	[Symbol]	TREE
[Symbol]	[Symbol]	UTILITY POLE
[Symbol]	[Symbol]	STREET SIGN
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	WATER VALVE

# HAMILTON RD (PROTHERO)

SECTION 09 TOWNSHIP 13N RANGE 02W

CITY OF CHEHALIS  
WASHINGTON

VICINITY MAP 



**DRAWING CONTENTS:**

- C0.1 - CIVIL COVER
- C1.1 - STORM DRAINAGE PLAN

**PROJECT SPECIFICATIONS:**

THE WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, 2020 WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER "STANDARD SPECIFICATIONS").

ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:

- MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- CITY ROAD STANDARDS
- CITY DRAINAGE STANDARDS
- THE INTERNATIONAL BUILDING CODE (IBC)

CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH EXIST ON THE DATE OF CONTRACT ACCEPTANCE.

CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATION AT CONTRACTOR'S OWN EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS. ONCE WORK IS COMPLETED CONTRACTOR SHALL OBTAIN ACCEPTANCE BY THE CITY AND PROJECT ENGINEER.

THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE PROJECT. OMISSIONS FROM THE DRAWINGS OF DETAIL OF WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE OMITTED WORK.

ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.

**WORK IN RIGHT OF WAY:**  
CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO COMMENCING ANY WORK LOCATED IN RIGHT OF WAY. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS, STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE RIGHT OF WAY PERMIT.

**RECORD DRAWINGS:**  
FULLER DESIGNS IS REQUIRED BY THE CITY TO PROVIDE RECORD DRAWING CERTIFICATION PRIOR TO FINAL CITY ACCEPTANCE. FULLER DESIGNS WILL NOT CERTIFY RECORD DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY FULLER DESIGNS OF NECESSARY INSPECTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ENGINEER OR INSPECTOR OF INCONSISTENCIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ONE SET OF THE CONTRACT DRAWINGS THAT SHALL INCLUDE: ANY ALTERATIONS OR LOCATION OF UNDERGROUND UTILITIES ENCOUNTERED DURING THE PROGRESS OF THE PROJECT, ANY ALTERATIONS MADE TO THE IMPROVEMENTS BEING INSTALLED. MARKED DRAWINGS SHALL BE CLEAR AND LEGIBLE. DRAWINGS SHALL BE MARKED "RECORD DRAWINGS" AND SHALL BE SUBMITTED TO THE ENGINEER UPON PROJECT COMPLETION.

**CONTRACTOR LIABILITY NOTE:**  
CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY THROUGHOUT PROJECT EXECUTION AND NOT BE LIMITED TO WORKING HOURS. CONTRACTOR SHALL PROGRESS WORK IN A MANNER THAT SHALL INDEMNIFY AND HOLD FULLER DESIGNS HARMLESS FROM ALL LIABILITY IN CONNECTION WITH CONTRACTOR'S PERFORMED WORK.

**REMOVAL OF UNSUITABLE MATERIALS:**  
IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR INSPECTOR AND REPLACED WITH SUITABLE MATERIAL.

UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR. PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER SO MEASUREMENT/PAYMENT CAN BE MADE PER TON OF UNSUITABLE MATERIAL REMOVED.

**EROSION CONTROL NOTE:**  
EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE STRUCTURES WILL BE PERMITTED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SOILS TO ADJACENT PROPERTIES. DISTURBED EARTH SHALL BE STABILIZED AS REQUIRED BY THE STANDARD SPECIFICATIONS. INDIVIDUAL DESIGNATED TO MONITOR EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL HAVE CESCL CERTIFICATION.

**GENERAL NOTES:**  
CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS AND UTILITY SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.

AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL PRE-CONSTRUCTION STATE OR BETTER UPON COMPLETION OF WORK.

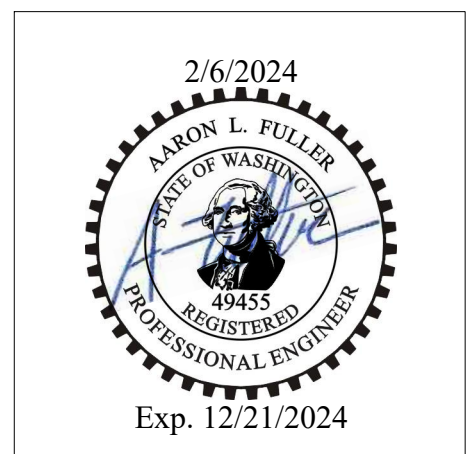
ANY DESIGN CHANGE(S) MADE TO THE PLANS BY OUTSIDE PARTIES (INCLUDING JURISDICTIONS, CITIES AND COUNTIES), WILL BE HELD RESPONSIBLE FOR ANY LIABILITIES THAT MAY OCCUR DUE TO CHANGE(S).

**UTILITIES LOCATE NOTE:**

EXISTING UTILITIES LOCATION SHOWN IN THIS PLAN SET IS BASED ON INFORMATION OBTAINED FROM VARIOUS RECORDS RESEARCH, ASBUILT DATA, AND FIELD MEASUREMENTS. FULLER DESIGNS ASSUMES NO RESPONSIBILITY FOR EXACT LOCATION OF UTILITIES EITHER SHOWN OR NOT SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL VERIFY THE EXACT SIZE, DEPTH, LOCATION, AND ARRANGEMENT OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL UNDERGROUND LOCATE AT 811 PRIOR TO PERFORMING CONSTRUCTIONS ACTIVITIES.



DRAWING TITLE: <b>CIVIL COVER</b>	CHECKED: <b>DM</b>
	DRAWN: <b>SD</b>
DATE: <b>2/6/24</b>	SCALE: <b>N/A</b>
PROJECT NAME: <b>HAMILTON RD (PROTHERO)</b>	



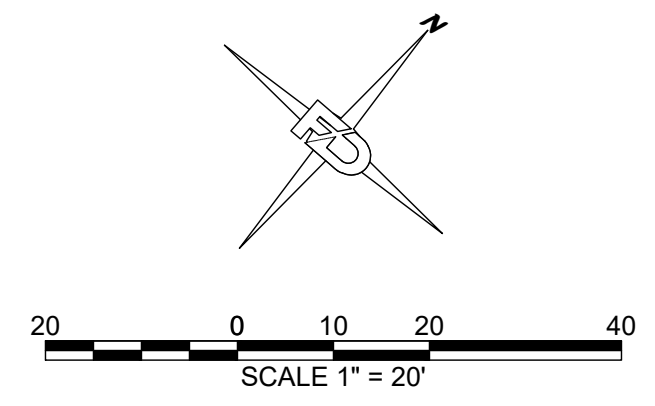
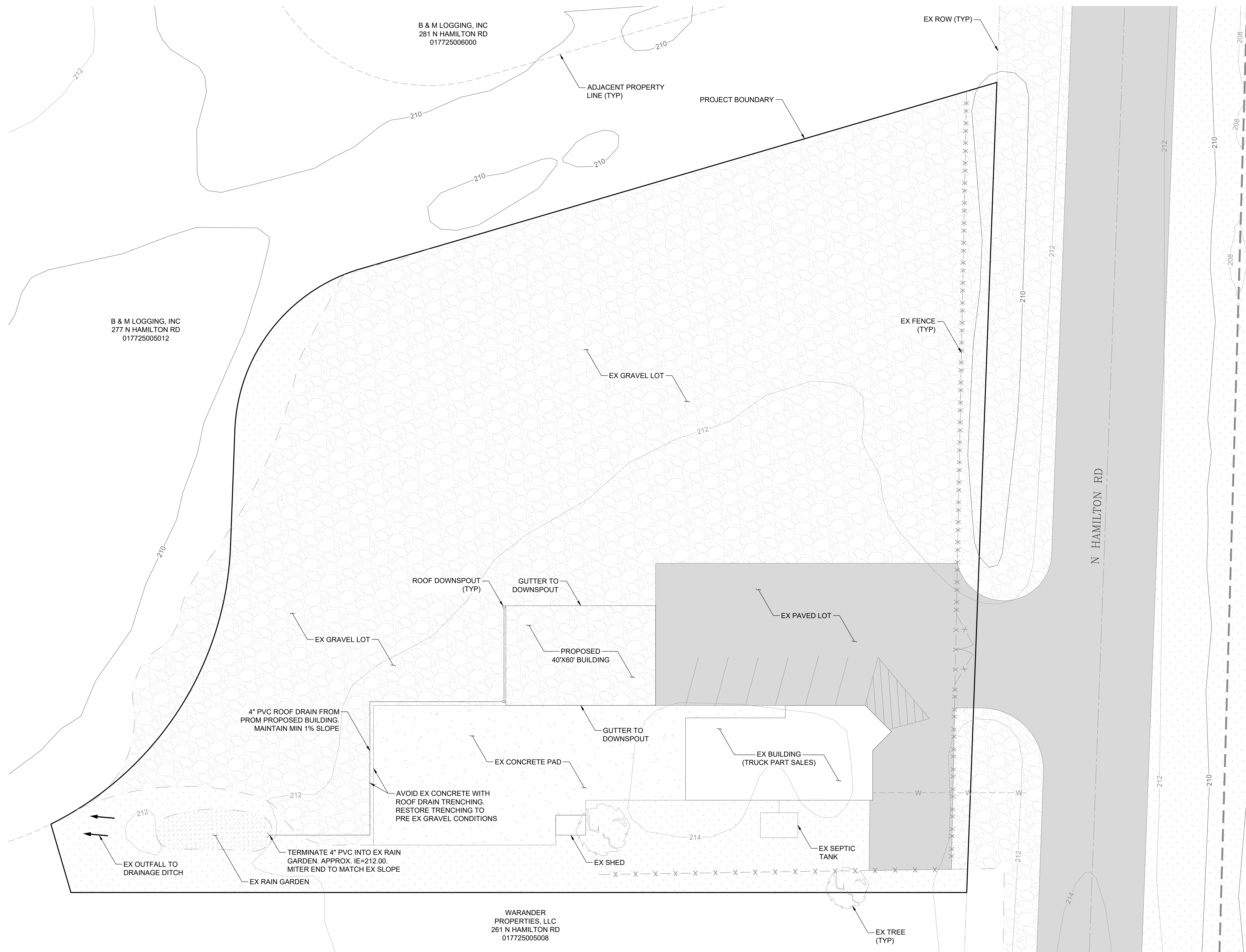
**FULLER DESIGNS**  
1111 KRESKY AVE, SUITE 100  
CENTRALIA, WA 98531  
(360) 807-4420



DATE:	2/6/24
DESCRIPTION:	FOR REVIEW/APPROVAL
REV:	0

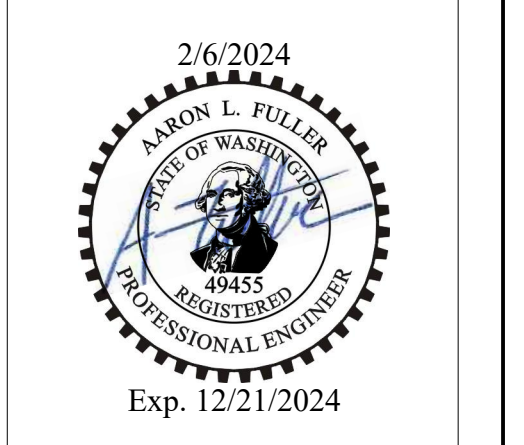
**C0.1**  
1 OF 2

SECTION 09 TOWNSHIP 13N RANGE 02W



DRAWING TITLE: **STORM DRAINAGE PLAN**

SCALE: <b>1:20</b>	DATE: <b>2/6/24</b>	DRAWN: <b>SD</b>	CHECKED: <b>DM</b>
PROJECT NAME: <b>HAMILTON RD (PROTHERO)</b>			



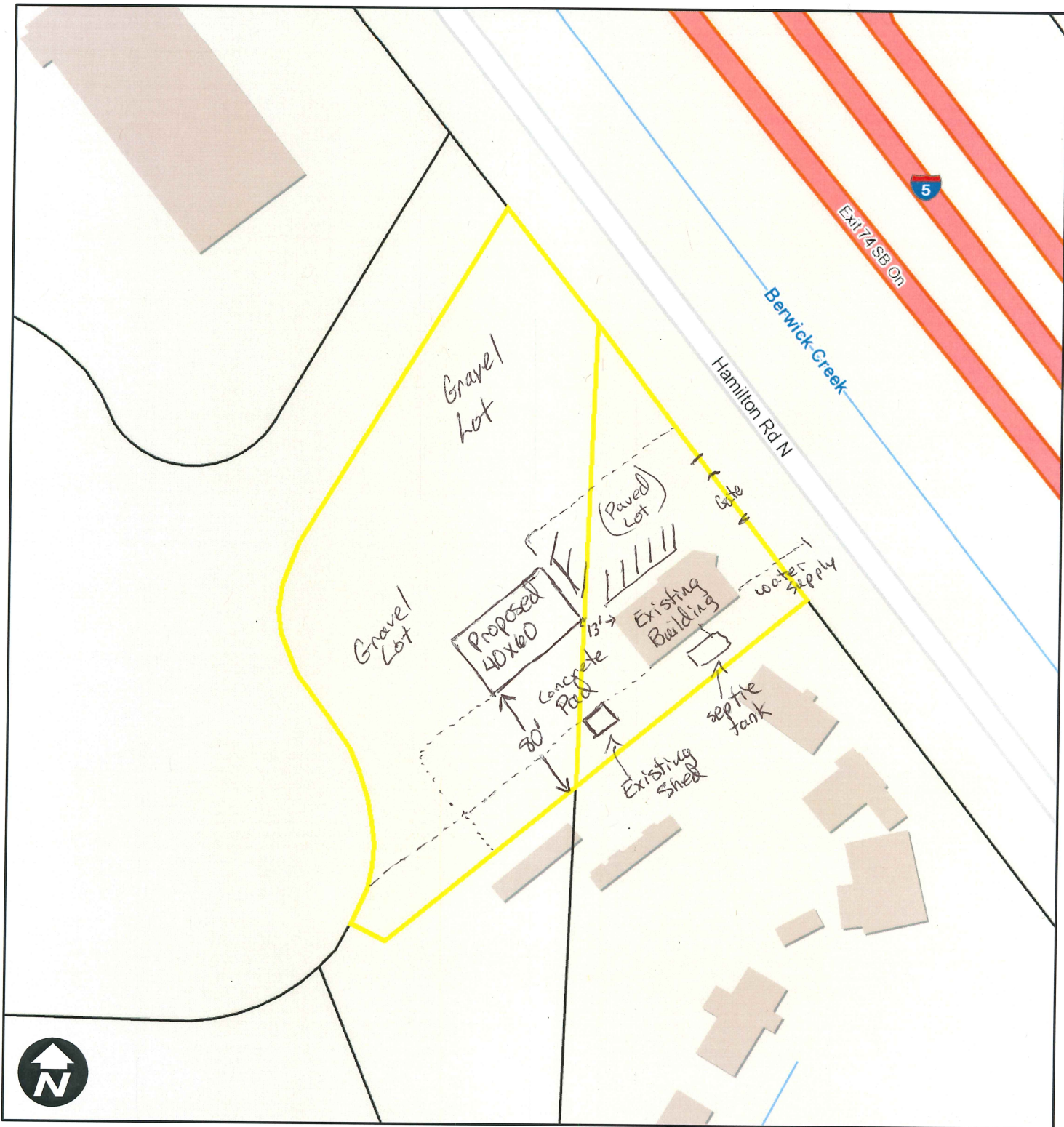
**FULLER DESIGNS**  
 1111 KRESKY AVE, SUITE 100  
 CENTRALIA, WA 98531  
 (360) 807-4420

REV.	DESCRIPTION	DATE
0	FOR REVIEW/APPROVAL	2/6/24

**C1.1**  
 2 OF 2



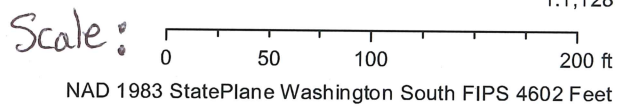
# Lewis County GIS Web Map



12/8/2023, 1:32:17 PM

-  Parcels
-  Parcels

1:1,128



Lewis County does not guarantee the accuracy of the information shown on this map and is not responsible for any use or misuse by others regarding this material. It is provided for general informational purposes only. This map does not meet legal, engineering, or survey standards. Please practice due diligence and consult with licensed experts before making decisions.



**Return your permit application to Community Development Department**  
 1321 S Market Blvd. Chehalis, WA 98532  
 (360) 345-2229  
[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

Job address: 16th Street/S. Market Blvd. Intersection Parcel #: N/A

**Applicant/Contact person**

Name: Joe Clark, Executive Director - Lewis County Transit  
 Mailing address: 216 E Locust Street  
 City, State, and Zip: Centralia, WA 98531  
 Phone #: 360-330-2072 Email: (required) joe@lewiscountytransit.org

**Contractor/Engineer/Surveyor**

Contact Name: Charlie Severs, PE  
 Company/Firm Name: JSA Civil, LLC  
 Mailing address: 111 Tumwater Blvd SE, Suite C210  
 City, State, and Zip: Tumwater, WA 98501  
 Phone #: 360-515-9600 Email: (required) charlie.severs@jsa-civil.com  
 Contractor's L&I #:

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)

Proposal to construct sidewalk and an ADA ramp at northeast pedestrian corner of 16th Street & S. Market Boulevard

Current market value of proposed work:  
 (Fair market labor and materials) \$30,000

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: <u>Joseph L. Clark</u>	Date: <u>01/04/2024</u>
Print Name: <u>Joseph L. Clark, Executive Director</u>	

Office use only	
Received by: _____	Date Received: _____
Parcel #: _____	
Permit #: _____	
Zoning: _____	
Flood Zone:    yes    no    Zone Classification: _____	

# JSA CIVIL

Engineering | Planning | Management

February 12, 2024

City of Chehalis  
Community Development Department  
1321 S Market Blvd.  
Chehalis, WA 98532

Re: 16<sup>th</sup> & Market Bus Stop  
Project Narrative

Dear City Staff:

Lewis County Transit is proposing a new bus stop along S Market Boulevard in the northeast quadrant of the SE 16<sup>th</sup> Street & S Market Blvd intersection. The project will be constructed within public right-of-way and includes new curb, gutter, & sidewalk and an ADA ramp along the northeast quadrant of the SE 16<sup>th</sup> & Market intersection, and provisions for a new transit shelter to be installed behind the sidewalk. The project will be constructed in one phase of work. Disturbed/removed pavement will be restored with new asphalt surfacing and disturbed landscaping will be restored to existing conditions with hydroseed mix. No new utility services or improvements to existing utilities are proposed at this time.

Please contact me directly with any questions at 360.515.9600 or [charlie.severs@jsa-civil.com](mailto:charlie.severs@jsa-civil.com).

Respectfully,

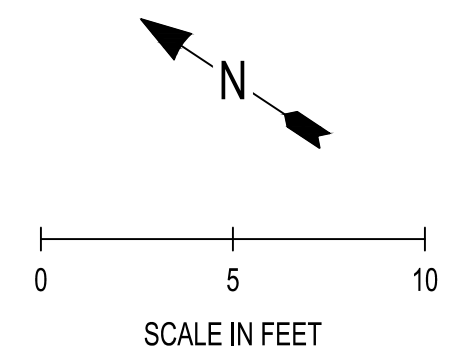
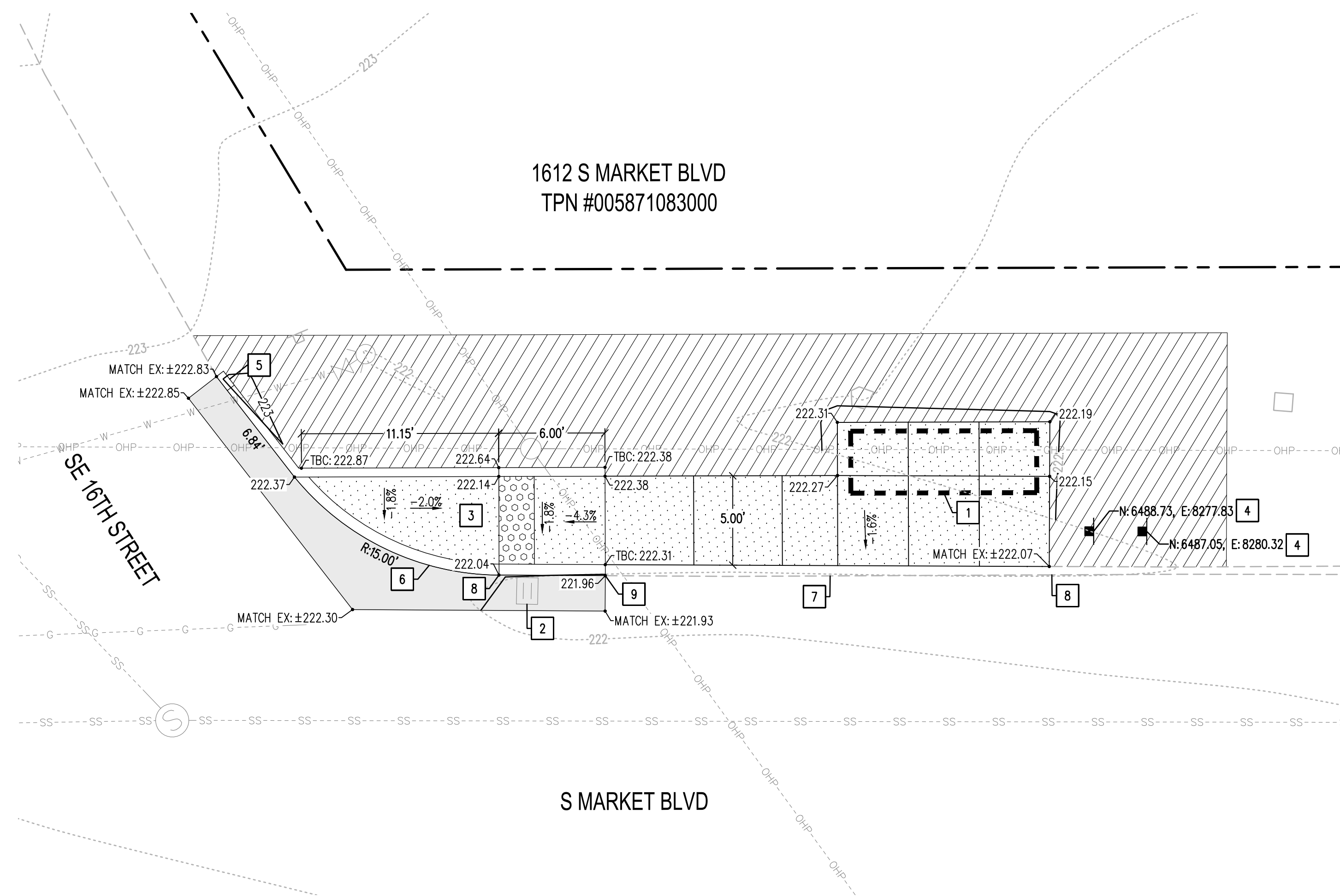
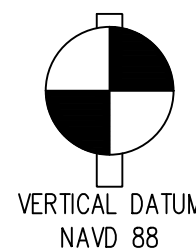


Charlie Severs, PE  
JSA Civil, LLC

Jan 04, 2024, 9:48:52am - User: csevers  
 N:\PROJECTS\14-009 MINI TRANSIT\14-009 16TH & MARKET BUS STOP\ACAD\14-009 SP-01.DWG

**CALL BEFORE YOU DIG**

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



**LEGEND**

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- ..... OUTLINE OF BUS SHELTER
- ===== CEMENT CONCRETE TRAFFIC CURB PER WSDOT STD. PLAN F-10.12-03; SEE SP-02
- ===== CEMENT CONCRETE SIDEWALK PER CITY OF CHEHALIS DETAILS 2-9 & 2-10; SEE SP-02
- ===== HMA CL. 1/2" PG 58H-22
- ===== PERVIOUS SURFACE RESTORATION: SEE SP-02
- XX.XX SPOT ELEVATION

**[X] CONSTRUCTION NOTES**

1. OUTLINE OF BUS SHELTER: INSTALLED BY OWNER
2. ADJUST EXISTING CATCH BASIN TO PROPOSED GRADE AS REQUIRED
3. SINGLE DIRECTION CURB RAMP PER WSDOT STD. PLAN F-40.16-03; SEE SP-02
4. RELOCATED SIGN COORDINATE WITH CITY OF CHEHALIS AND LEWIS COUNTY TRANSIT
5. CHAMFER CURB AT 2:1
6. CEMENT CONCRETE TRAFFIC CURB PER WSDOT STD PLAN F-10.12-04; SEE SP-02
7. 35 LF YELLOW PAINTED CURB YELLOW PAINT SHALL MEET THE REQUIREMENTS OF SECTION 6-22.2 & 9-34 OF THE WSDOT STANDARD SPECIFICATIONS TWO (2) COATS OF YELLOW TRAFFIC PAINT
8. START/END YELLOW PAINTED CURB
9. MATCH INTO EXISTING CURB

**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY TRAFFIC CONTROL IN ACCORDANCE WITH THE APPROVED TRAFFIC CONTROL PLAN(S).
2. CONTRACTION AND EXPANSION JOINTS FOR ALL CONCRETE WORK SHALL BE PER WSDOT STANDARD SPECIFICATIONS.
3. ALL CURB, GUTTER, STREET GRADES, SIDEWALK GRADES, AND ANY OTHER VERTICAL, AND/OR HORIZONTAL ALIGNMENT SHALL BE STAKED BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK.
4. WHERE NEW ASPHALT JOINS EXISTING, THE EXISTING ASPHALT SHALL BE CUT TO A NEAT VERTICAL EDGE, TACKED, AND SEALED IN ACCORDANCE WITH THE WSDOT STANDARD SPECIFICATIONS.
5. COMPACTION OF SUBGRADE, ROCK, AND ASPHALT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. ALL SURFACING AND PAWING DEPTHS NOTED ON THESE PLANS ARE COMPACTED DEPTHS.
6. THE OWNER WILL NOT PROVIDE ANY CONSTRUCTION WATER FOR THIS PROJECT. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL THE REQUIRED CONSTRUCTION WATER FROM AN APPROVED WATER SOURCE. WHERE WATER IS REQUIRED FOR THE PURPOSES OF DUST SUPPRESSION OR ADJUSTING THE MOISTURE CONTENT OF SOILS TO OBTAIN PROPER COMPACTION, THE CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS TO OBTAIN CONSTRUCTION WATER, AND SHALL PAY FOR SUCH WATER, AND SHALL HAUL SUCH WATER AS MAY BE REQUIRED. THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE PURVEYOR PROVIDING SUCH WATER, INCLUDING BACKFLOW PREVENTION REQUIREMENTS. WHERE WATER IS REQUIRED FOR THE PURPOSE OF ESTABLISHING (I.E., GERMINATION) INSTALLED SEED MIXTURES IN DISTURBED PERVIOUS AREAS, THE CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS TO OBTAIN WATER. ALL COSTS FOR OBTAINING WATER SHALL BE INCLUDED IN THE BID AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED THEREFORE.
7. ALL PROPOSED CEMENT CONCRETE CURB, GUTTER, & SIDEWALK SHALL HAVE 0.33" OF CRUSHED SURFACING TOP COURSE PLACED AND COMPACTED TO 95% (MIN.) OF THE MAXIMUM DRY DENSITY PRIOR TO FORMING FOR THE FLATWORK.
8. CONTRACTOR SHALL PROTECT AND KEEP TRAFFIC OFF OF ALL POURED CEMENT CONCRETE FOR A PERIOD OF NO LESS THAN 7 DAYS.
9. CONTRACTION AND EXPANSION JOINTS FOR ALL CONCRETE WORK SHALL BE PER THE WSDOT STANDARD SPECIFICATIONS.

REVISIONS
PROJECT NO: 114.009
DRAWN: R. TRANUM
CHECKED: C. SEVERS
SUBMITTAL DATES
OTB DATE
 <b>JSA CIVIL</b> Engineering   Planning   Management 111 TUMWATER BLVD SE, SUITE C210 TUMWATER, WA 98501
16TH & MARKET BUS STOP CHEHALIS, WA
SHEET TITLE
SITE, PAVING, & GRADING PLAN
SHEET
SP-01



**Return your permit application to Community Development Department**  
 1321 S Market Blvd. Chehalis, WA 98532  
 (360) 345-2229  
[www.ci.chehalis.wa.us](http://www.ci.chehalis.wa.us) email: [comdev@ci.chehalis.wa.us](mailto:comdev@ci.chehalis.wa.us)

Job address: 151 NE Hampe Way Parcel #: 005605103000

**Applicant/Contact person**

Name: Lee Ingrim and Spencer Ingrim  
 Mailing address: 4780 Capitol Blvd SE  
 City, State, and Zip: Tumwater, WA 98512  
 Phone #: 360-701-1139 and 360-701-6439 Email: (required) spencer.ingrim@cbolympia.com

**Contractor/Engineer/Surveyor**

Contact Name: \_\_\_\_\_  
 Company/Firm Name: \_\_\_\_\_  
 Mailing address: \_\_\_\_\_  
 City, State, and Zip: \_\_\_\_\_  
 Phone #: \_\_\_\_\_ Email: (required) \_\_\_\_\_  
 Contractor's L&I #: \_\_\_\_\_

Project Description: (Create a project narrative on a separate page if there is not enough room to completely describe your project below.)

Construction of a 990 square foot tap room with 2 restrooms and 10 spaces for food carts with utility hook-ups.

Current market value of proposed work: \$300,000  
 (Fair market labor and materials)

Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, you grant permission for any City of Chehalis employee the right to access and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: Spencer Ingrim Date: 01/16/2024

Print Name: Spencer Ingrim

*Office use only*

Received by: _____	Date Received: _____
Parcel #: _____	
Permit #: _____	
Zoning: _____	
Flood Zone:    yes    no    Zone Classification: _____	

**PROJECT INFORMATION:**

APPLICANT: LEE & SPENCER INGRIM  
855 TROSPER RD SW, STE 108-324  
TUMWATER, WA 98501

SITE ADDRESS: NE HAMPE WAY  
CHEHALIS, WA 98532

PARCEL NUMBER: 005605103000

ZONING (CITY): CG - GENERAL COMMERCIAL

LOTS: 1 EXISTING 1 PROPOSED

ACRES: 12.16

SITE SOILS: REED SILTY CLAY LOAM & MELBOURNE LOAM

WATER: EX PRIVATELY OWNED LATERALS

SANITARY SEWER: EX PRIVATELY OWNED LATERALS

PARKING STALLS: 708 EXISTING, 99 TO BE REMOVED  
2 PROPOSED (10'X20')

**GEOTECHNICAL INFORMATION:**

A GEOTECHNICAL REPORT WAS NOT PREPARED FOR THIS PROJECT. IN LIEU OF A REPORT ALL CONSTRUCTION SHALL COMPLY WITH STANDARD SPECIFICATIONS.

**TOPOGRAPHIC INFORMATION:**

TOPOGRAPHIC INFORMATION DEPICTED IN THESE DRAWINGS WAS PROVIDED BY LEWIS COUNTY GIS DATA. TOPOGRAPHIC INFORMATION WAS NOT FIELD VERIFIED BY FULLER DESIGNS.

**LEGEND**

LINETYPES	EXISTING	PROPOSED	DESC.
	---	---	BUILDING FOOTPRINT
	---	---	BUILDING SETBACK
	-CG- CG-	-CG- CG-	CLEARING AND GRUBBING
	XX	XX	CONTOUR LINE (MAJOR)
	XX	XX	CONTOUR LINE (MINOR)
	---	---	CULVERT
	---	---	DITCH
	---	---	EASEMENT
	---	---	EDGE OF PAVEMENT
	---	---	EDGE OF GRAVEL
	-X- X-	-X- X-	FENCE
	-FM- FM-	-FM- FM-	FORCE MAIN
	-G- G-	-G- G-	GAS MAIN
	-GB- GB-	-GB- GB-	GRADE BREAK
	---	---	LANDSCAPE
	---	---	LOT LINE
	---	---	PROJECT BOUNDARY
	---	---	RIGHT-OF-WAY
	---	---	ROAD CENTERLINE
	---	---	ROAD CUT LINE
	-SS- SS-	-SS- SS-	SANITARY SEWER PIPE
	-ST- ST-	-ST- ST-	STORM PIPE
	---	---	SIDEWALK
	-SF- SF-	-SF- SF-	SILT FENCE
	-UE- UE-	-UE- UE-	UNDERGROUND ELECTRIC
	-OE- OE-	-OE- OE-	OVERHEAD ELECTRIC
	-OT- OT-	-OT- OT-	TELECOMMUNICATION
	-W- W-	-W- W-	WATER
	---	---	STREAM
	---	---	ENHANCED BUFFER BOUNDARY LINE

HATCH	EXISTING	PROPOSED	DESC.
	[Pattern]	[Pattern]	AC PAVEMENT
	[Pattern]	[Pattern]	GRAVEL
	[Pattern]	[Pattern]	CONCRETE
	[Pattern]	[Pattern]	LANDSCAPE / GRASS AREA

**ABBREVIATIONS:**

AC	ASPHALT CONCRETE
BCR	BEGIN CURB RETURN
BM	BENCHMARK
BVCS	BEGIN VERTICAL CURVE STATION
BCVE	BEGIN VERTICAL CURVE ELEVATION
BLDG	BUILDING
CATV	CABLE TELEVISION
CB	CATCH BASIN
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CY	CUBIC YARD
°	DEGREES
Ø	DIAMETER
EE	ELECTRICAL
ECR	END CURB RETURN
EL	ELEVATION
EOP	EDGE OF PAVEMENT
EVCS	END VERTICAL CURVE STATION
EVCE	END VERTICAL CURVE ELEVATION
EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FM	FORCE MAIN
G	GAS
GB	GRADE BREAK
GM	GAS METER
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
IE	INVERT ELEVATION
K	CALCULATED CURVE VALUE
L	LENGTH
LCV	LENGTH VERTICAL CURVE
LF	LINEAR FEET
LT	LEFT
M	METER
MH	MAN HOLE
MJ	MECHANICAL JOINT
NAP	NOT A PART OF PROJECT
NFC	NOT FOR CONSTRUCTION
OHP	OVER HEAD POWER
P	POWER
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
POB	POINT OF BEGINNING
POC	POINT OF CONNECTION
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PVC	POLY-VINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
RFC	RELEASED FOR CONSTRUCTION
ROW	RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
RT	RIGHT
S	SLOPE
SF	SQUARE FOOT
SD	STORM DRAIN
SS	SANITARY SEWER
ST	STORM
STA	STATION
SW	SIDEWALK
T	TELEPHONE
TB	TRUST BLOCK
TC	TOP OF CURB/CONCRETE
TESC	TEMPORARY EROSION AND SEDIMENT CONTROL
TG	TOP OF GRATE
TYP	TYPICAL
UGP	UNDERGROUND POWER
W	WATER
WM	WATER METER
WV	WATER VALVE
±	APPROXIMATELY
%	PERCENT
Δ	DELTA

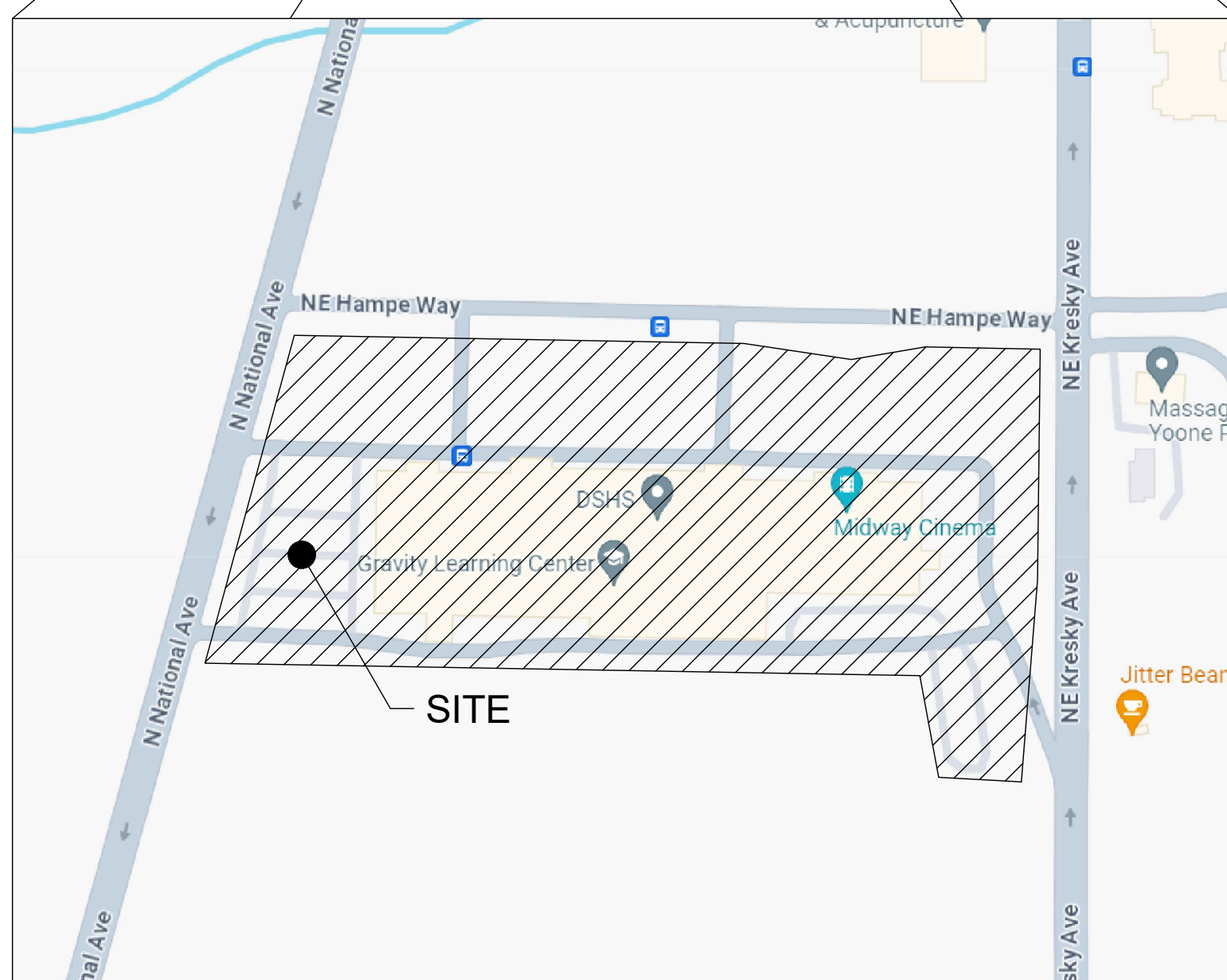
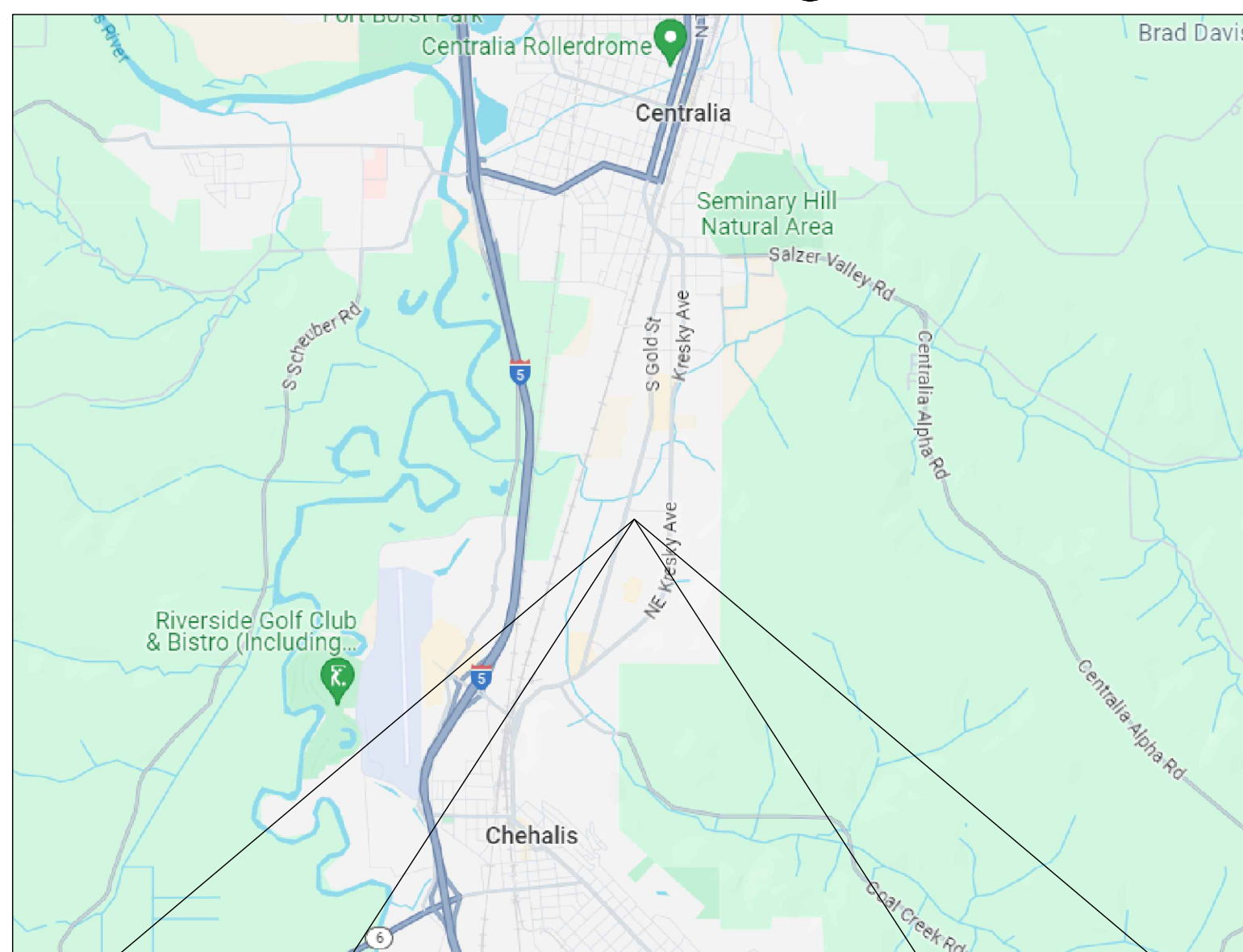
SYMBOLS	EXISTING	PROPOSED	DESC.
[Symbol]	[Symbol]	[Symbol]	CATCH BASIN
[Symbol]	[Symbol]	[Symbol]	ELECTRIC TRANSFORMER
[Symbol]	[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	[Symbol]	GAS VALVE
[Symbol]	[Symbol]	[Symbol]	ILLUMINARE & POLE
[Symbol]	[Symbol]	[Symbol]	JUNCTION BOX
[Symbol]	[Symbol]	[Symbol]	MAIL BOX
[Symbol]	[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	[Symbol]	STORM MANHOLE
[Symbol]	[Symbol]	[Symbol]	STREET SIGN
[Symbol]	[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	[Symbol]	SURFACE FLOW
[Symbol]	[Symbol]	[Symbol]	TELECOMMUNICATION PEDESTAL
[Symbol]	[Symbol]	[Symbol]	TREE
[Symbol]	[Symbol]	[Symbol]	UTILITY POLE
[Symbol]	[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	[Symbol]	WATER VALVE

# NE HAMPE WAY (INGRIM)

SECTION 20 TOWNSHIP 14N RANGE 02W

CITY OF CHEHALIS  
WASHINGTON

VICINITY MAP



**DRAWING CONTENTS:**

- C0.1 - CIVIL COVER
- C1.1 - OVERALL SITE & TESC PLAN
- C2.1 - HORIZONTAL CONTROL PLAN

APPROVED FOR CONSTRUCTION

BY \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER

APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE



**PROJECT SPECIFICATIONS:**

THE WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, 2024 WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER "STANDARD SPECIFICATIONS").

ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:

- MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- CITY ROAD STANDARDS
- CITY DRAINAGE STANDARDS
- THE INTERNATIONAL BUILDING CODE (IBC)

CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH EXIST ON THE DATE OF CONTRACT ACCEPTANCE.

CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATION AT CONTRACTOR'S OWN EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS. ONCE WORK IS COMPLETED CONTRACTOR SHALL OBTAIN ACCEPTANCE BY THE COUNTY AND PROJECT ENGINEER.

THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE PROJECT. OMISSIONS FROM THE DRAWINGS OF DETAIL OF WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE OMITTED WORK.

ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.

WORK IN RIGHT OF WAY:  
CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO COMMENCING ANY WORK LOCATED IN RIGHT OF WAY. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS, STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE RIGHT OF WAY PERMIT.

RECORD DRAWINGS:  
FULLER DESIGNS IS REQUIRED BY THE CITY TO PROVIDE RECORD DRAWING CERTIFICATION PRIOR TO FINAL CITY ACCEPTANCE. FULLER DESIGNS WILL NOT CERTIFY RECORD DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY FULLER DESIGNS OF NECESSARY INSPECTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ENGINEER OR INSPECTOR OF INCONSISTENCIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ONE SET OF THE CONTRACT DRAWINGS THAT SHALL INCLUDE: ANY ALTERATIONS OR LOCATION OF UNDERGROUND UTILITIES ENCOUNTERED DURING THE PROGRESS OF THE PROJECT. ANY ALTERATIONS MADE TO THE IMPROVEMENTS BEING INSTALLED. MARKED DRAWINGS SHALL BE CLEAR AND LEGIBLE. DRAWINGS SHALL BE MARKED "RECORD DRAWINGS" AND SHALL BE SUBMITTED TO THE ENGINEER UPON PROJECT COMPLETION.

CONTRACTOR LIABILITY NOTE:  
CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY THROUGHOUT PROJECT EXECUTION AND NOT BE LIMITED TO WORKING HOURS. CONTRACTOR SHALL PROGRESS WORK IN A MANNER THAT SHALL INDEMNIFY AND HOLD FULLER DESIGNS HARMLESS FROM ALL LIABILITY IN CONNECTION WITH CONTRACTOR'S PERFORMED WORK.

REMOVAL OF UNSUITABLE MATERIALS:  
IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR INSPECTOR AND REPLACED WITH SUITABLE MATERIAL.

UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR. PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER. SO MEASUREMENT/PAYMENT CAN BE MADE PER TON OF UNSUITABLE MATERIAL REMOVED.

EROSION CONTROL NOTE:  
EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE STRUCTURES WILL BE PERMITTED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SOILS TO ADJACENT PROPERTIES. DISTURBED EARTH SHALL BE STABILIZED AS REQUIRED BY THE STANDARD SPECIFICATIONS. INDIVIDUAL DESIGNATED TO MONITOR EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL HAVE CESCL CERTIFICATION.

GENERAL NOTES:  
CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS AND UTILITY SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.

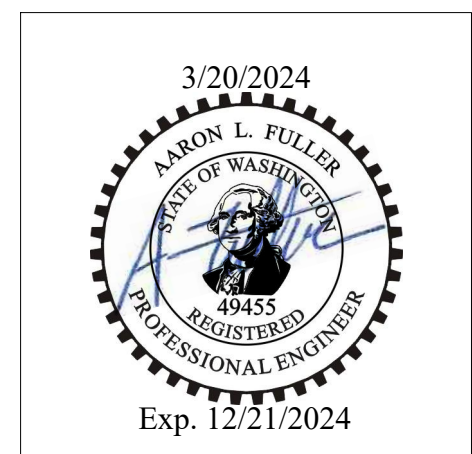
AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL PRE-CONSTRUCTION STATE OR BETTER UPON COMPLETION OF WORK.

ANY DESIGN CHANGE(S) MADE TO THE PLANS BY OUTSIDE PARTIES (INCLUDING JURISDICTIONS, CITIES AND COUNTIES), WILL BE HELD RESPONSIBLE FOR ANY LIABILITIES THAT MAY OCCUR DUE TO CHANGE(S).

**UTILITIES LOCATE NOTE:**

EXISTING UTILITIES LOCATION SHOWN IN THIS PLAN SET IS BASED ON INFORMATION OBTAINED FROM VARIOUS RECORDS RESEARCH, ASBUILT DATA, AND FIELD MEASUREMENTS. FULLER DESIGNS ASSUMES NO RESPONSIBILITY FOR EXACT LOCATION OF UTILITIES EITHER SHOWN OR NOT SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL VERIFY THE EXACT SIZE, DEPTH, LOCATION, AND ARRANGEMENT OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL UNDERGROUND LOCATE AT 811 PRIOR TO PERFORMING CONSTRUCTIONS ACTIVITIES.

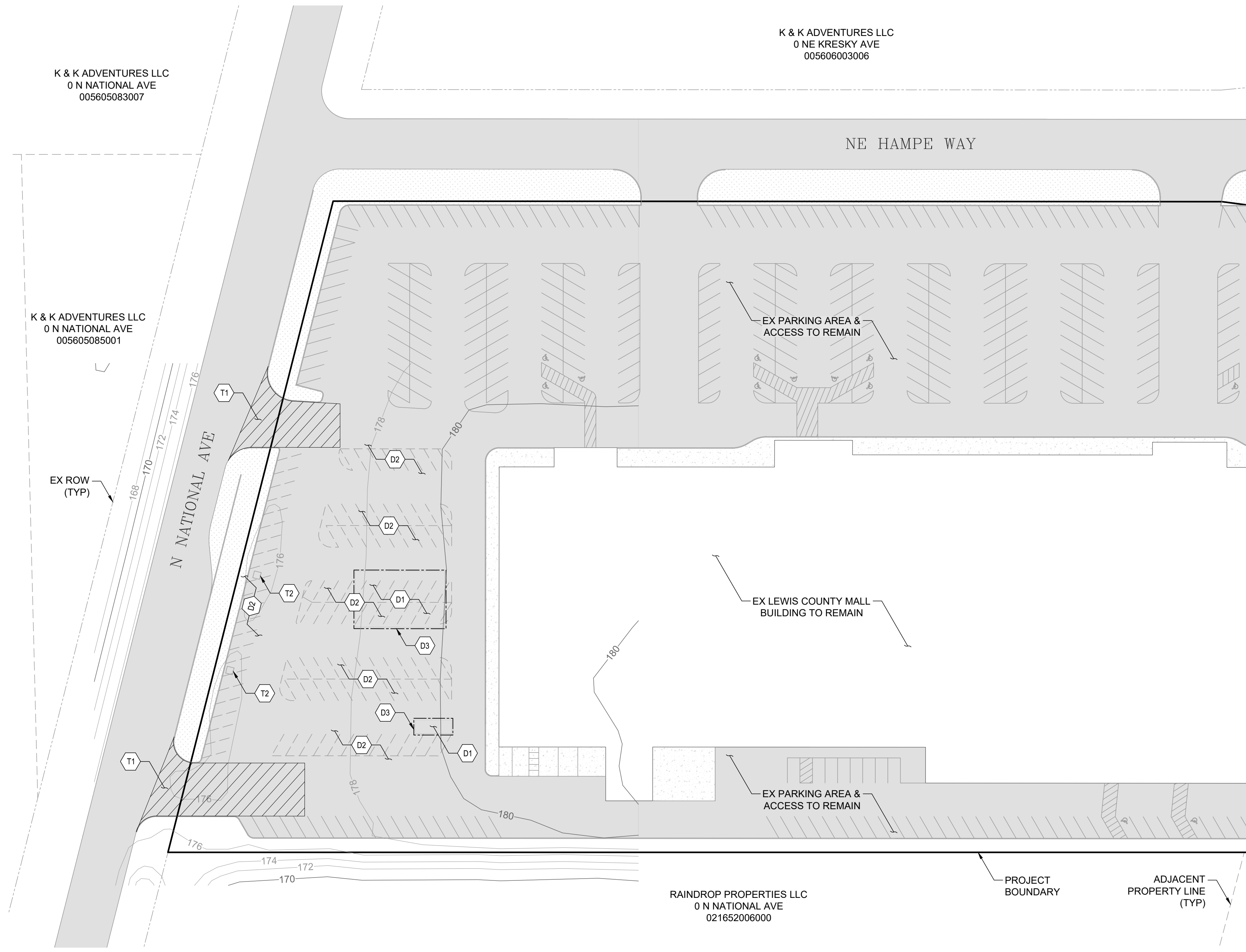
DRAWING TITLE: <b>CIVIL COVER</b>	CHECKED: AF
	DRAWN: SD
	DATE: 3/19/24
SCALE: N/A	PROJECT NAME: NE HAMPE WAY (INGRIM)



FULLER DESIGNS  
1111 KRESKY AVE, SUITE 100  
CENTRALIA, WA 98531  
(360) 807-4420

REV.	DESCRIPTION:	DATE:
0	ISSUED FOR CONSTRUCTION	3/19/24

SECTION 20 TOWNSHIP 14N RANGE 02W

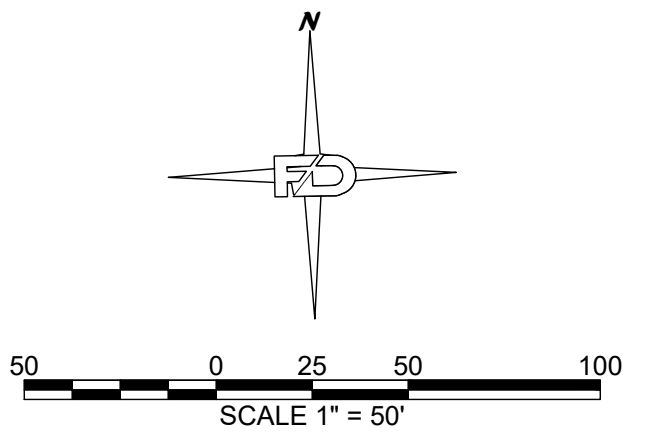
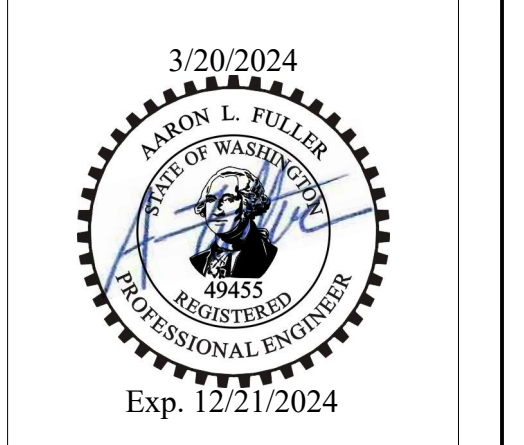


**EROSION CONTROL GENERAL NOTES**

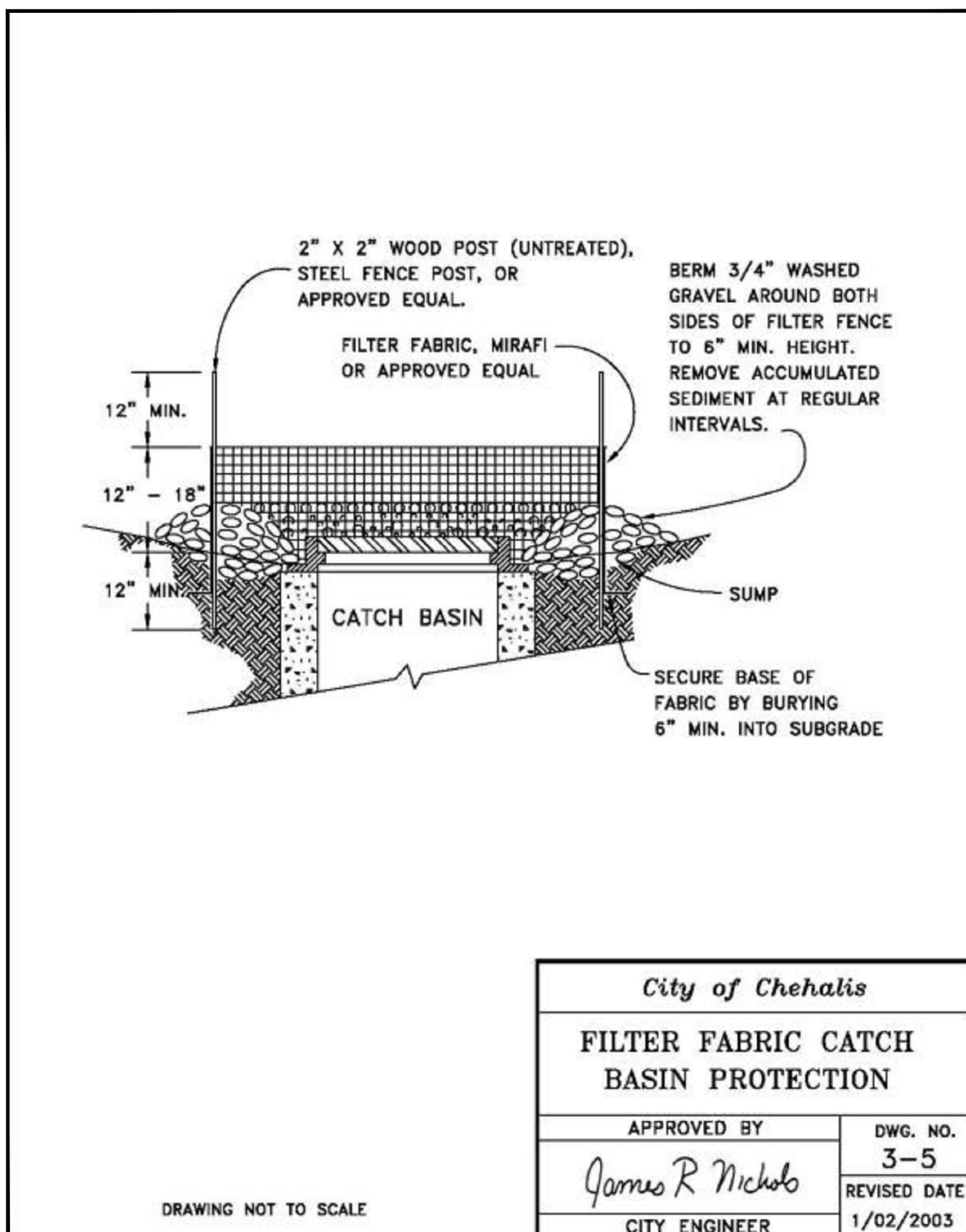
1. EROSION CONTROL MEASURES WILL BE IN PLACE PRIOR TO THE BEGINNING OF CONSTRUCTION. A REPRESENTATIVE FROM THE CITY WILL INSPECT AND APPROVE THE EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
2. EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION MEASURES, AS REQUIRED UNDER THE MOST RECENT VERSION OF THE CHEHALIS STORM WATER MANAGEMENT PLAN. CARE WILL BE TAKEN TO PREVENT MIGRATION OF SILT AND/OR POLLUTED RUNOFF TO OFF-SITE PROPERTIES.
3. THE CONTRACTOR WILL MAKE REGULAR SURVEILLANCE OF ALL EROSION CONTROL MEASURES. IN ADDITION, EROSION CONTROL WILL BE THOROUGHLY INSPECTED AFTER EACH RAINFALL EVENT. THE CONTRACTOR WILL MAKE ALL NECESSARY REPAIRS, MODIFICATIONS, AND ADDITIONS AS NECESSARY TO ENSURE THE PROPER OPERATION OF THE EROSION CONTROL MEASURES. THE CITY MAY REQUIRE MORE FREQUENT INSPECTIONS OF EROSION CONTROL MEASURES BY THE CONTRACTOR SHOULD SITE OR WEATHER CONDITIONS DICTATE.
4. DURING THE WET SEASON, NOVEMBER THROUGH MARCH, ALL DISTURBED SOILS WILL BE STABILIZED WITHIN 48 HOURS AFTER LAND DISTURBANCE ACTIVITIES HAVE CEASED. EROSION CONTROL MEASURES WILL INCLUDE, BUT ARE NOT LIMITED TO, INSTALLATION OF STRAW MATTING, JUTE MATTING, STRAW MULCH AND/OR WOOD CHIPS, AND COVERING THE AFFECTED AREA AND SPOIL PILES WITH PLASTIC SHEETING.
5. THE CONTRACTOR WILL CHECK ALL SEEDED OR SODDED AREAS REGULARLY TO ENSURE THAT THE VEGETATIVE COVER IS BEING ADEQUATELY ESTABLISHED. AREAS WILL BE REPAIRED, RESEEDED, AND FERTILIZED AS REQUIRED.
6. TRACKING OF SOIL OFF SITE WILL NOT BE ALLOWED. IF ANY SOIL IS TRACKED BEYOND THE LIMITS OF THE SITE, IT WILL BE REMOVED BEFORE THE END OF THAT WORKING DAY. TO PREVENT ADDITIONAL TRACKING, VEHICLE TIRES MUST BE SWEEPED OR WASHED PRIOR TO LEAVING THE PROJECT SITE.
7. NO MORE THAN 500 LINEAL FEET (LF) OF TRENCH ON A DOWNSLOPE OF MORE THAN FIVE PERCENT WILL BE OPENED AT ONE TIME.
8. EXCAVATED MATERIAL WILL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
9. EXCAVATED MATERIAL WILL NOT BE PLACED IN ESTABLISHED DRAINAGE DITCHES UNDER ANY CIRCUMSTANCES.
10. TRENCH DE-WATERING DEVICES WILL BE DISCHARGED IN A MANNER THAT WILL NOT ADVERSELY AFFECT FLOWING STREAMS, DRAINAGE SYSTEMS, OR OFF-SITE PROPERTIES. AN ESTABLISHED SEDIMENT TRAP WILL BE USED AS THE RECEIVER FOR ALL TRENCH DE-WATERING OPERATIONS.
11. ALL DISTURBED AREAS WILL BE SEEDED OR SODDED UPON COMPLETION OF WORK. THE CONTRACTOR WILL BE RESPONSIBLE TO ENSURE THAT COMPLETE COVERAGE OF THE DISTURBED AREAS IS PROVIDED AND THE GROWTH OF VEGETATION IS ESTABLISHED. SEED AND SOD APPLICATIONS WILL BE CONDUCTED IN ACCORDANCE WITH THE TIMELINES NOTED IN THE MOST RECENT EDITION OF THE WSDOT STANDARD SPECIFICATIONS.
12. ALL EROSION CONTROL WILL REMAIN IN PLACE UNTIL SUCH TIME AS THE SITE IS ADEQUATELY STABILIZED. PRIOR TO REMOVAL OF EROSION CONTROL MEASURES, THE ENGINEERING.

DRAWING TITLE: **OVERALL SITE & TESC PLAN**

CHECKED:	AF
DRAWN:	SD
DATE:	3/19/24
SCALE:	1:50
PROJECT NAME:	NE HAMPE WAY (INGRIM)



- TESC PLAN NOTES:**
- T1 EX ASPHALT AREA TO BE USED FOR CONSTRUCTION ENTRANCE. CONTRACTOR SHALL EMPLOY STREET SWEEPING TO KEEP AREA & ADJACENT ROADWAY FREE OF DEBRIS
  - T2 INSTALL SILT SOCK INLET PROTECTION INSIDE EX CB. SEE DETAIL ON THIS SHEET
- DEMOLITION NOTES:**
- D1 EX ASPHALT TO BE REMOVED FOR FUTURE BUILDING, CONCRETE PAD FOR COURT YARD & DUMPSTER AREA
  - D2 EX PARKING LOT STRIPS TO BE REMOVED (TYP 99)
  - D3 SAWCUT 1' FROM EDGE OF EX ASPHALT TO MAKE NEAT EDGE



<i>City of Chehalis</i>	
<b>FILTER FABRIC CATCH BASIN PROTECTION</b>	
APPROVED BY	DWG. NO.
<i>James R. Nichols</i>	3-5
CITY ENGINEER	REVISED DATE
	1/02/2003

APPROVED FOR CONSTRUCTION

BY \_\_\_\_\_ DATE \_\_\_\_\_

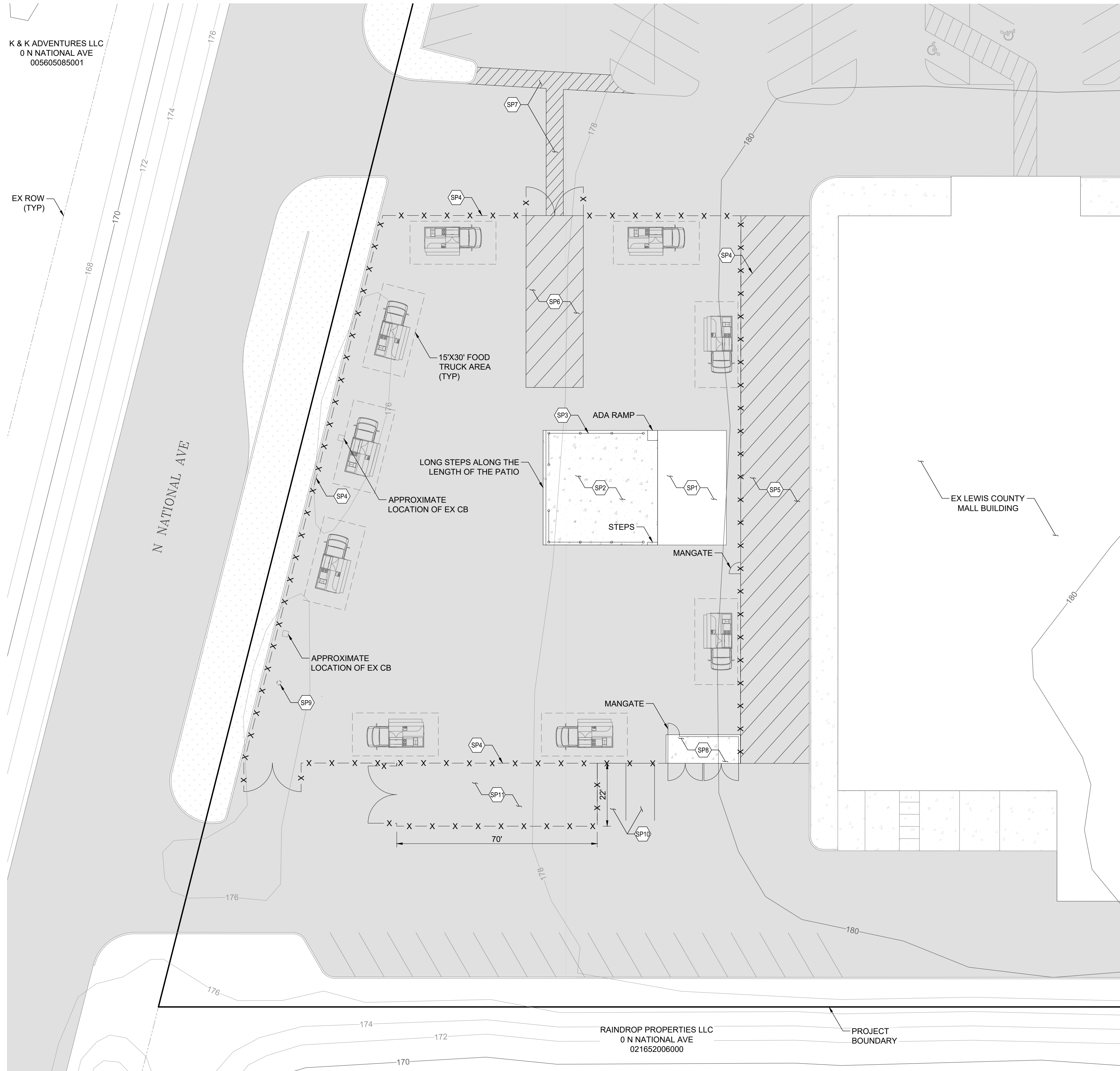
CITY ENGINEER

APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE

FULLER DESIGNS  
1111 KRESKY AVE, SUITE 100  
CENTRALIA, WA 98531  
(360) 807-4420

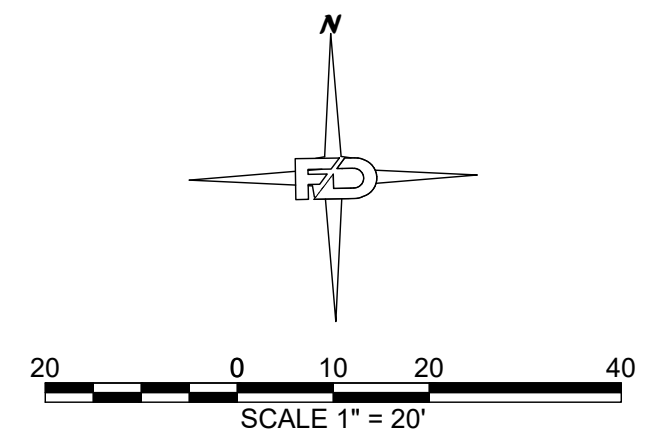
DATE:	3/19/24
DESCRIPTION:	ISSUED FOR CONSTRUCTION
REV:	0

SECTION 20 TOWNSHIP 14N RANGE 02W



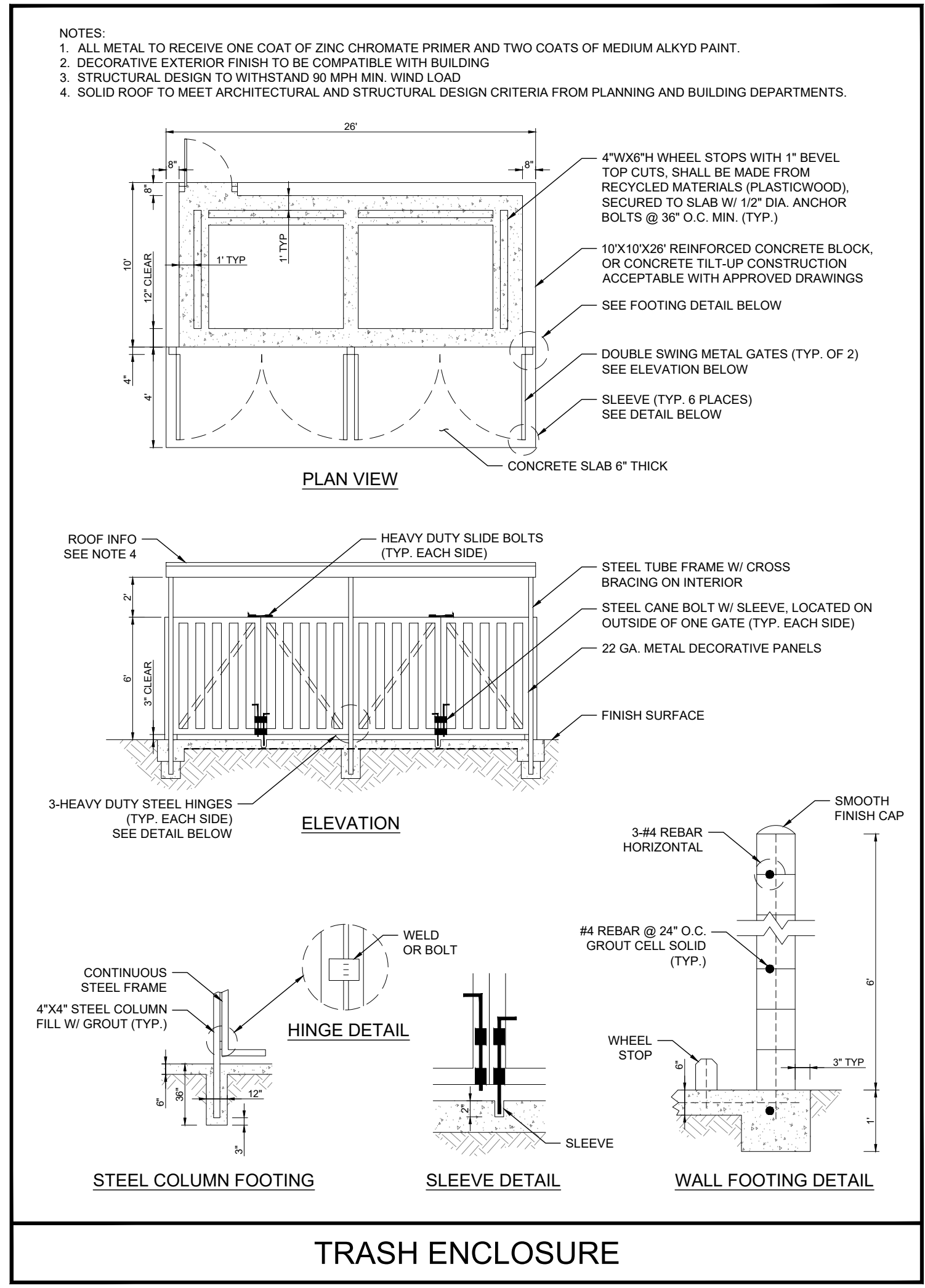
K & K ADVENTURES LLC  
0 N NATIONAL AVE  
005605085001

RAINDROP PROPERTIES LLC  
0 N NATIONAL AVE  
021652006000



SITE PLAN NOTES:

- SP1) INSTALL 24'X40' BUILDING. FINISHED FLOOR ELEVATION WILL MATCH EX BUILDING
- SP2) CONSTRUCT 40'X40' CONCRETE PAD FOR COURT YARD
- SP3) INSTALL NON-PERMANENT POST/ROPE BARRIER
- SP4) INSTALL 6' FENCE WITH 20' WIDE GATES AS SHOWN
- SP5) PAINT 24' WIDE STRIPPING FOR NO PARKING FIRE LANE ZONE
- SP6) PAINT 20' WIDE STRIPPING FOR NO PARKING ZONE
- SP7) PAINT 6' WIDE STRIPPING FOR PEDESTRIAN CROSSWALK
- SP8) INSTALL 10'X26' MASONRY WALL TRASH ENCLOSURE WITH GATE. SEE DETAIL THIS SHEET
- SP9) INSTALL GRINDER PUMP. CONNECT TO EX PRIVATELY OWNED SANITARY SEWER SYSTEM
- SP10) PAINT STRIPS FOR 10'X20' PARKING STALL (TYP 2)
- SP11) TELECOM STRUCTURE & GENERATOR DESIGNED BY OTHER



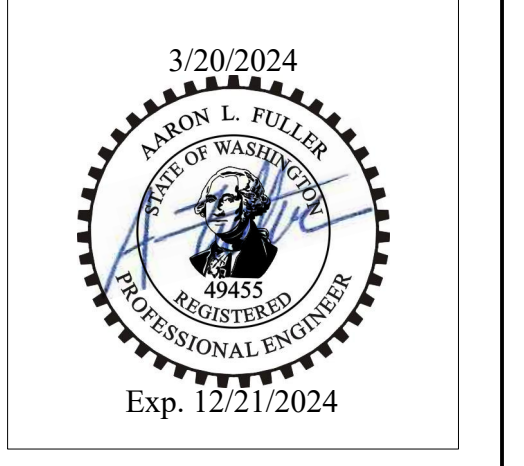
- NOTES:
1. ALL METAL TO RECEIVE ONE COAT OF ZINC CHROMATE PRIMER AND TWO COATS OF MEDIUM ALKYD PAINT.
  2. DECORATIVE EXTERIOR FINISH TO BE COMPATIBLE WITH BUILDING
  3. STRUCTURAL DESIGN TO WITHSTAND 90 MPH MIN. WIND LOAD
  4. SOLID ROOF TO MEET ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.

TRASH ENCLOSURE

APPROVED FOR CONSTRUCTION

BY \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE

DRAWING TITLE: <b>HORIZONTAL CONTROL PLAN</b>		CHECKED: <b>AF</b>
SCALE: <b>1:20</b>	DATE: <b>3/19/24</b>	DRAWN: <b>SD</b>
PROJECT NAME: <b>NE HAMPE WAY (INGRIM)</b>		



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1111 KRESKY AVE, SUITE 100  
CENTRALIA, WA 98531  
(360) 807-4420

REV:	DESCRIPTION:	DATE:
0	ISSUED FOR CONSTRUCTION	3/19/24





# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	CITY OF CHEHALIS, LEWIS COUNTY, WASHINGTON	A portion of Section 20, Township 14 North, Range 2 West, Willamette Meridian, as shown on the Lewis County Mall Alta Survey recorded as Document No. 3046449, in Volume 17, Page 205, in the Office of the Auditor, Lewis County, Washington
	COMMUNITY NO.: 530104	
AFFECTED MAP PANEL	NUMBER: 5301041362C	
	DATE: 7/17/2006	
FLOODING SOURCE: COAL CREEK; SALZER CREEK		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 46.687165, -122.957829 SOURCE OF LAT & LONG: LOMA LOGIC DATUM: NAD 83

### DETERMINATION

LOT	BLOCK/SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
--	--	--	181 Hampe Road NE	Structure	X (shaded)	--	174.4 feet	--

**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

**ADDITIONAL CONSIDERATIONS** (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

PORTIONS REMAIN IN THE SFHA  
INTERVENING HIGH GROUND - NO FILL  
STATE LOCAL CONSIDERATIONS

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Amendment for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the structure(s) on the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document amends the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Mapping and Insurance eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMA Clearinghouse, 3601 Eisenhower Avenue, Suite 500, Alexandria, VA 22304-6426.

Patrick "Rick" F. Sacbibit, P.E., Branch Chief  
Engineering Services Branch  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

### **PORTIONS OF THE PROPERTY REMAIN IN THE SFHA (This Additional Consideration applies to the preceding 1 Property.)**

Portions of this property, but not the subject of the Determination/Comment document, may remain in the Special Flood Hazard Area. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management.

### **INTERVENING HIGH GROUND - NO FILL PLACED (This Additional Consideration applies to the preceding 1 Property.)**

Although the subject of the determination is below the elevation of the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), it is outside the Special Flood Hazard Area because of intervening high ground. Intervening high ground is natural high ground that exists between a property and/or structure and the flooding source, providing the property and/or structure protection against inundation from the base flood.

### **STATE AND LOCAL CONSIDERATIONS (This Additional Consideration applies to all properties in the LOMA DETERMINATION DOCUMENT (REMOVAL))**

Please note that this document does not override or supersede any State or local procedural or substantive provisions which may apply to floodplain management requirements associated with amendments to State or local floodplain zoning ordinances, maps, or State or local procedures adopted under the National Flood Insurance Program.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Mapping and Insurance eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 3601 Eisenhower Avenue, Suite 500, Alexandria, VA 22304-6426.

A handwritten signature in black ink, appearing to read "Rick Sacbbit".

Patrick "Rick" F. Sacbbit, P.E., Branch Chief  
Engineering Services Branch  
Federal Insurance and Mitigation Administration