

Development Review Committee Agenda

Chehalis Building and Planning Department

February 16th, 2022, at 9 A.M.

Meeting Location: Chehalis Airport Conference Room

I. Meeting Agenda for Action Items

9:00 AM

Site Plan Recommendation for Hearing Examiner:

UGA-ST-21-0001, UGA-CU-21-003: 2945 Jackson Hwy. Fuller Designs is proposing the construction of 56 tiny homes with a conservation area. This area is zoned RUGA, manufactured dwellings are permitted in this zone with conditions. Lewis County Parcel #017808001044 and 017808001006. The project has received an MDNS on January 13th, 2022, with no appeals. Fuller Designs has asked that we meet to create a staff recommendation to the Hearing Examiner, but also would like to hold off on scheduling the hearing until confirmation that the project will go ahead due to the potential nature of the parcel (and surrounding parcels) being sold to Tarragon for their multi-family proposal.

9:30 AM

II. Inter-department staff meeting

III. Informational Reports

Join Zoom Meeting

<https://us06web.zoom.us/j/82051187969>

Meeting ID: 820 5118 7969

One tap mobile

+12532158782,,82051187969# US (Tacoma)

+17207072699,,82051187969# US (Denver)

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 720 707 2699 US (Denver)

+1 346 248 7799 US (Houston)

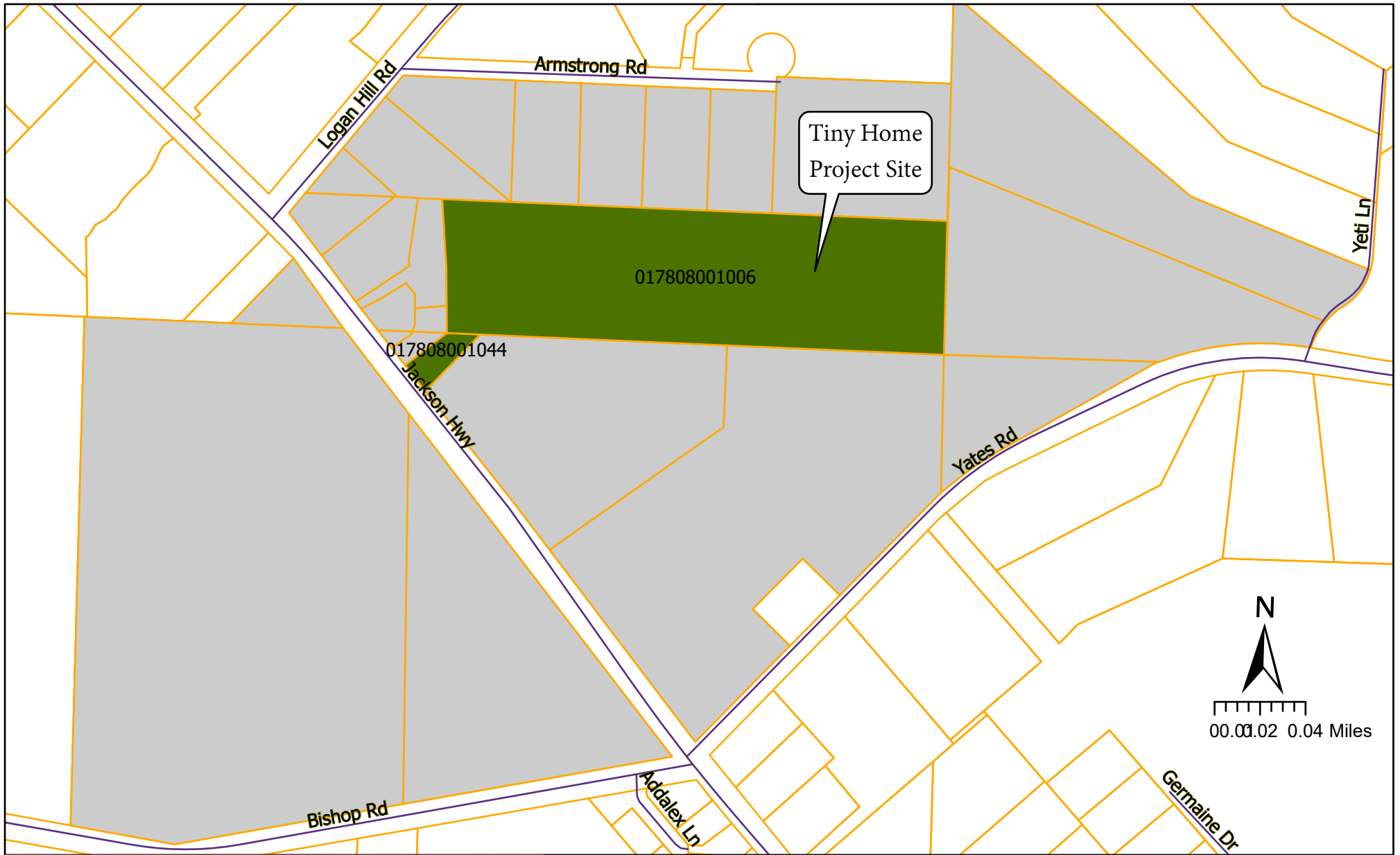
+1 312 626 6799 US (Chicago)

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+1 301 715 8592 US (Washington DC)

Meeting ID: 820 5118 7969

Find your local number: <https://us06web.zoom.us/j/82051187969>



Vicinity Map for UGA-SEPA-21-0002, UGA-ST-21-0001



Building and Planning Department
1321 S. Market Blvd., Chehalis, WA 98532
360.345.2229/Fax: 360.345.1039
www.ci.chehalis.wa.us email: comdev@ci.chehalis.wa.us

COPY

SEPA #: UGA-SEPA-21-0002

MITIGATED DETERMINATION OF NONSIGNIFICANCE

Description of Proposal: Fuller Designs is proposing the construction of 56 tiny homes with a conservation area. This area is zoned RUGA, manufactured dwellings are permitted in this zone with conditions. Lewis County Parcel #017808001044 and 017808001006

Proponent: Fuller Designs; 1101 Kresky Ave, Centralia WA 98531

Location of proposal: 0 Jackson Hwy Chehalis WA 98532

Lead agency: Chehalis Building and Planning Department

Chehalis Building and Planning Department has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030 (2)(c). This decision was made after review of a completed environmental checklist and other information on file with the City. This information is available to the public on request.

This MDNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 14 days from the date below. Comments must be submitted by 4:00 PM **January 27th, 2022.**

Responsible official: Tammy S. Baraconi
Position/title Building and Planning Manager, City of Chehalis
Phone: (360) 345.2227
Address: 1321 S. Market Blvd, Chehalis, WA 98532

Signature: Amelia Schwartz
Amelia Schwartz for Tammy Baraconi **Date: January 13th, 2022.**

You may appeal this determination to City of Chehalis – Building and Planning Department, 1321 S. Market Blvd., Chehalis, WA 98532. You should be prepared to make specific factual objections. All substantive appeals must be filed with City of Chehalis in writing with a \$500 fee plus the cost of the hearing examiner submitted by 4:00 PM on **January 27th, 2022.** You may contact Tammy Baraconi to ask about the procedures for SEPA appeals.

CITY OF CHEHALIS COMPREHENSIVE PLAN

The proposed development is compatible with the following goals and policies of the City of Chehalis Comprehensive Plan:

Chapter 3, Land Use

LU.04.02 Encourage development in areas where adequate public facilities and services already exist or can be provided in an efficient manner.

LU.04 To accommodate the 20-year projection for household and employment growth.

CONDITIONS OF THE MITIGATED DETERMINATION OF NONSIGNIFICANCE

- A privacy fence must be installed along interior property lines to block excessive lights and noise from affecting adjacent properties.
- Because of the high probability of artifacts on site, a Monitoring and Inadvertent Discovery Plan shall be submitted to the city and be approved prior to civil permits being issued.
- All grading and filling of land must utilize only clean fill, and all removed debris resulting from this project must be disposed of at a Health Department approved site.
- A Construction Stormwater General Permit is required by the state Department of Ecology. The applicant may apply online or obtain an application from Ecology's website at: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/> - Application. Construction site operators must apply for a permit at least 60 days prior to discharging stormwater from construction activities and must submit it on or before the date of the first public notice.
- A Road Approach permit must be obtained through Lewis County Community Development.
- Full half street improvements are required along the entire Jackson Highway frontage.
- New or expanded development within the unincorporated Chehalis UGA shall meet the storm drainage and erosion control design and construction standards set forth under Article IV, Sections 12.04.340 (Stormwater management) and 12.04.350 CMC (Erosion control).
- The project must receive approval of the preliminary plat before construction begins.
- Stormwater systems must ensure that there are no stormwater impacts to Jackson Highway.

This decision considers comments received from the public, the Department of Ecology and Department of Archaeology & Historic Preservation, in addition to reviewal by City of Chehalis departments and contracted Engineering 3rd Parties.

The environmental threshold determination is based on analysis of information contained in the following documents:

- Environmental Checklist prepared by Fuller Designs
- Preliminary Civil Plans prepared by Fuller Designs
- Traffic Impact Analysis prepared by Heath & Associates
- Drainage and Erosion Control Report prepared by Fuller Designs
- Geotechnical Report prepared by All American Geotechnical
- Cultural Resources Report prepared by Antiquity Consulting

Notes:

1. The issuance of a Mitigated Determination of Nonsignificance does not constitute project approval. All building plans and site design must meet the following: 2018 International Fire Code, the 2018 International Building Code, the City of Chehalis Engineering Development Code (CMC Title 12) and the City of Chehalis Municipal Code (CMC Title 17) and all other applicable local, state, and federal regulations.
2. The Mitigated Determination of Nonsignificance is based on the applicant developing the site in accordance with the Stormwater Plan as approved by City of Chehalis and site plan for the associated project.
3. If contamination is currently known or observed during construction, sampling of the potentially contaminated media must be conducted. If contamination of soil or groundwater is readily visible, or is revealed by sampling, the Department of Ecology must be notified. Contact the Washington Emergency Management Division, 24/7 at 1.800.OILS.911 and the Environmental Report Tracking System Coordinator for the Southwest Regional Office (SWRO) at (360) 407-6300. For additional information on contaminated construction sites, please contact Carol Serdar at Carol.Serdar@ecy.wa.gov, or by phone at (360) 742-9751. For assistance and information about subsequent cleanup and to identify the type of testing that will be required, contact Andrew Smith with the SWRO, Toxics Cleanup Program at (360) 407-6316.
4. Erosion control measures must be in place prior to any clearing, grading, or construction. These control measures must be effective to prevent soil from being carried into surface water by stormwater runoff. Sand, silt, clay particles, and soil will damage aquatic habitat and are considered pollutants. Any discharge of sediment-laden runoff of other pollutants to waters of the state is in violation of Chapter 90.48, Water Pollution Control, and WAC 173-201A, Water Quality Standards for Surface Waters of the State of Washington and is subject to enforcement action.
5. Construction and earthmoving activities have the potential to generate excessive dust emissions if reasonable control measures are not implemented. SWCAA Regulation 400-040(2) requires that “no person shall cause or permit the emission of particulate matter from any stationary source to be deposited beyond the property under direct control of the owner or operator of the stationary source in sufficient quantity to interfere unreasonably with the use and enjoyment of the property upon which the material is deposited”. Furthermore, SWCAA Regulation 400-040(8)(a) requires that “the owner or operator of any source of fugitive dust shall take reasonable precautions to prevent fugitive dust from becoming airborne and shall maintain and operate the source to minimize emissions”. Violations of SWCAA Regulation 400-040 may result in civil penalties being assessed against the project operator and/or property owner.
6. During construction, all releases of oils, hydraulic fluids, fuels, other petroleum products, paints, solvents, and other deleterious materials must be contained and removed in a manner that will prevent their discharge to waters and soils of the state. The cleanup of spills shall take precedence over other work.
7. In the event any archaeological or historic materials are encountered during project activity, work in the immediate area (initially allowing for a 100’ buffer; this number may vary by circumstances) must stop and the following actions taken:
 - Implement reasonable measures to protect the discovery site, including any appropriate stabilization or covering; and
 - Take reasonable steps to ensure the confidentiality of the discovery site; and
 - Take reasonable steps to restrict access to the site of discovery.

The project proponent will notify the concerned Tribes and all appropriate local, state, and federal agencies including the Department of Archaeology and Historic Preservation and the City of Chehalis Community Development. The agencies and Tribes(s) will discuss possible measures to remove or avoid cultural material and will reach an agreement with the project proponent regarding actions to be taken and disposition of material.

If human remains are uncovered, the City of Chehalis Police Department shall be notified first, and the above steps followed. If the remains are determined to be of an Indigenous person, consultation with the affected Tribes will take place in order to plan for the final location of said remains.

See the Revised Code of Washington, Chapter 27.53, "Archaeological Sites and Resources," for applicable laws and statutes. See also Washington State Executive Order 05-05, "Archaeological and Cultural Resources." Additional state and federal law(s) may also apply.

Thank you,
Amelia Schwartz
City Planner
City of Chehalis Community Development
Office: 360.485.0373
aschwartz@ci.chehalis.wa.us

CC:
SEPA Unit PO Box 47703 Olympia WA 98504-7703 (with checklist)
Trent Lougheed, City Engineer via email

Permit Application

Submit this form and any required attachments to:

**City of Chehalis
Community Development Department
1321 S. MARKET BLVD.
CHEHALIS WA 98532
(360) 345-2229**

APPLICANT FILL OUT AND SIGN UPPER SECTION:

JOB ADDRESS: 0 Jackson Hwy

APPLICANT:

NAME: Fuller Designs
 ADDRESS: 1101 Kresky Ave.
 CITY/ST/ZIP: Centralia, WA 98531
 PHONE#: 360-807-4420
 EMAIL: Admin@fuller Designs.org

PROPERTY OWNER (Same as Applicant? Yes No)

NAME: David Cosser
 ADDRESS: _____
 CITY/ST/ZIP: _____
 PHONE#: _____
 EMAIL: dave.cosser@gmail.com

CONTACT PERSON (Same as Applicant? Yes No)

COMPANY NAME: _____
 NAME _____
 ADDRESS: _____
 CITY/STATE/ZIP _____
 PHONE # _____
 EMAIL: _____

CONTRACTOR (Same as Property Owner? Yes No)

COMPANY: TBD
 CONTRACTOR REGISTRATION # _____
 ADDRESS: _____
 CITY/STATE/ZIP _____
 PHONE # _____
 EMAIL: _____

DETAILED PROJECT DESCRIPTION:

56 Tiny homes with conservation area (See Cover Letter)

PROJECT VALUE: \$500,000.00

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

<u>Signature:</u>	<u>Date:</u> 5/17/2021
<u>Name (print):</u> Cassie Fuller	<u>Telephone #:</u> 360-807-4420

OFFICE USE ONLY:

Date Received: _____ By: _____ Date Reviewed: _____ By: _____
 Parcel #: _____ Zoning: _____ Flood Zone: _____
 Permit #: _____

PROJECT INFORMATION:

APPLICANT: COSSER, DAVID T.
 SITE ADDRESS: 2945 JACKSON HWY. CHEHALIS, WA 98532
 PARCEL NUMBER: 017808001006
 ZONING (CITY): UGA, URBAN GROWTH AREA
 LOTS: 1 EXISTING
 SITE SOILS: REED SILTY CLAY LOAM

ABBREVIATIONS:

AC ACRES
 AC ASPHALT CONCRETE
 BCR BEGIN CURB RETURN
 BM BENCHMARK
 BVCS BEGIN VERTICAL CURVE STATION
 BCVE BEGIN VERTICAL CURVE ELEVATION
 CATV CABLE TELEVISION
 CB CATCH BASIN
 CIP CAST IRON PIPE
 CL CENTERLINE
 CMP CORRUGATED METAL PIPE
 CO CLEAN OUT
 CY CUBIC YARD
 ° DEGREES
 ∅ DIAMETER
 DIP DUCTILE IRON PIPE
 EE ELECTRICAL
 ECR END CURB RETURN
 EL ELEVATION
 EVCS END VERTICAL CURVE STATION
 EVCE END VERTICAL CURVE ELEVATION
 EX EXISTING
 FF FINISH FLOOR
 FG FINISH GRADE
 FH FIRE HYDRANT
 FL FLOW LINE
 FM FORCE MAIN
 G GAS
 GB GRADE BREAK
 GM GAS METER
 GV GATE VALVE
 HP HIGH POINT
 K CALCULATED CURVE VALUE
 L LENGTH
 LCV LENGTH VERTICAL CURVE
 LF LINEAR FEET
 M METER
 MH MAN HOLE
 MJ MECHANICAL JOINT
 NFC NOT FOR CONSTRUCTION
 OHP OVER HEAD POWER
 P POWER
 PC POINT OF CURVATURE
 PI POINT OF INTERSECTION
 PL PROPERTY LINE
 POB POINT OF BEGINNING
 POC POINT OF CONNECTION
 PRC POINT OF REVERSE CURVATURE
 PT POINT OF TANGENCY
 PVC POLY-VINYL CHLORIDE
 R RADIUS
 RCP REINFORCED CONCRETE PIPE
 RFC RELEASED FOR CONSTRUCTION
 R/W RIGHT OF WAY
 RD ROOF DRAIN
 S SLOPE
 SF SQUARE FOOT
 SD STORM DRAIN
 SS SANITARY SEWER
 ST STORM
 STA STATION
 STEP SEPTIC TANK EFFLUENT PUMP
 DTL STANDARD DETAIL
 T TELEPHONE
 TB THRUST BLOCK
 TC TOP OF CURB/CONCRETE
 TESC TEMPORARY EROSION AND SEDIMENT CONTROL
 TG TOP OF GRATE
 TYP TYPICAL
 UGP UNDERGROUND POWER
 W WATER
 WM WATER METER
 WV WATER VALVE
 ± APPROXIMATELY
 % PERCENT
 Δ DELTA

GEOTECHNICAL INFORMATION:

A GEOTECHNICAL REPORT WAS NOT PREPARED FOR THIS PROJECT. IN LIEU OF A REPORT ALL CONSTRUCTION SHALL COMPLY WITH STANDARD SPECIFICATIONS.

TOPOGRAPHIC INFORMATION:

TOPOGRAPHIC INFORMATION DEPICTED IN THESE DRAWINGS WAS PROVIDED BY K. GERMUNSON SURVEYING INC. TOPOGRAPHIC INFORMATION WAS NOT FIELD VERIFIED BY FULLER DESIGNS.

LEGEND:

LINETYPES:

EXISTING	PROPOSED	DESC.
---	---	LOT LINE
-X-X-	-□-□-	EASEMENT
->->-	->->-	FENCING
---	---	DITCH
---	---	CULVERT
---	---	ROAD CENTERLINE
---	---	RIGHT OF WAY
E	E	ELECTRICAL UNDERGROUND
OE	OE	ELECTRICAL OVERHEAD
OT	OT	TELECOMMUNICATION
G	G	GAS MAIN
W	W	WATER MAIN
SS	SS	SEWER MAIN
FM	FM	FORCE MAIN
ST	ST	STORM MAIN
sf	sf	SILT FENCE

SYMBOLS:

EXISTING	PROPOSED	DESC.
xxx-xxx	xxx-xxx	SURFACE FLOW
○	○	SPOT ELEVATION
⊙	⊙	SEWER MANHOLE
⊙	⊙	STORM MANHOLE
⊙	⊙	CATCH BASIN
⊙	⊙	INSPECTION PORT
○	○	WELL
□	□	WATER METER BOX
○	○	VALVE
○	○	HYDRANT
○	○	RPBA
○	○	POLE
○	○	TREE
→	→	FLOW DIRECTION ARROW

HATCH:

EXISTING	PROPOSED	DESC.
▒	▒	AC PAVEMENT
▒	▒	GRAVEL AREA
▒	▒	CONCRETE SIDEWALK
▒	▒	ENHANCED BUFFER

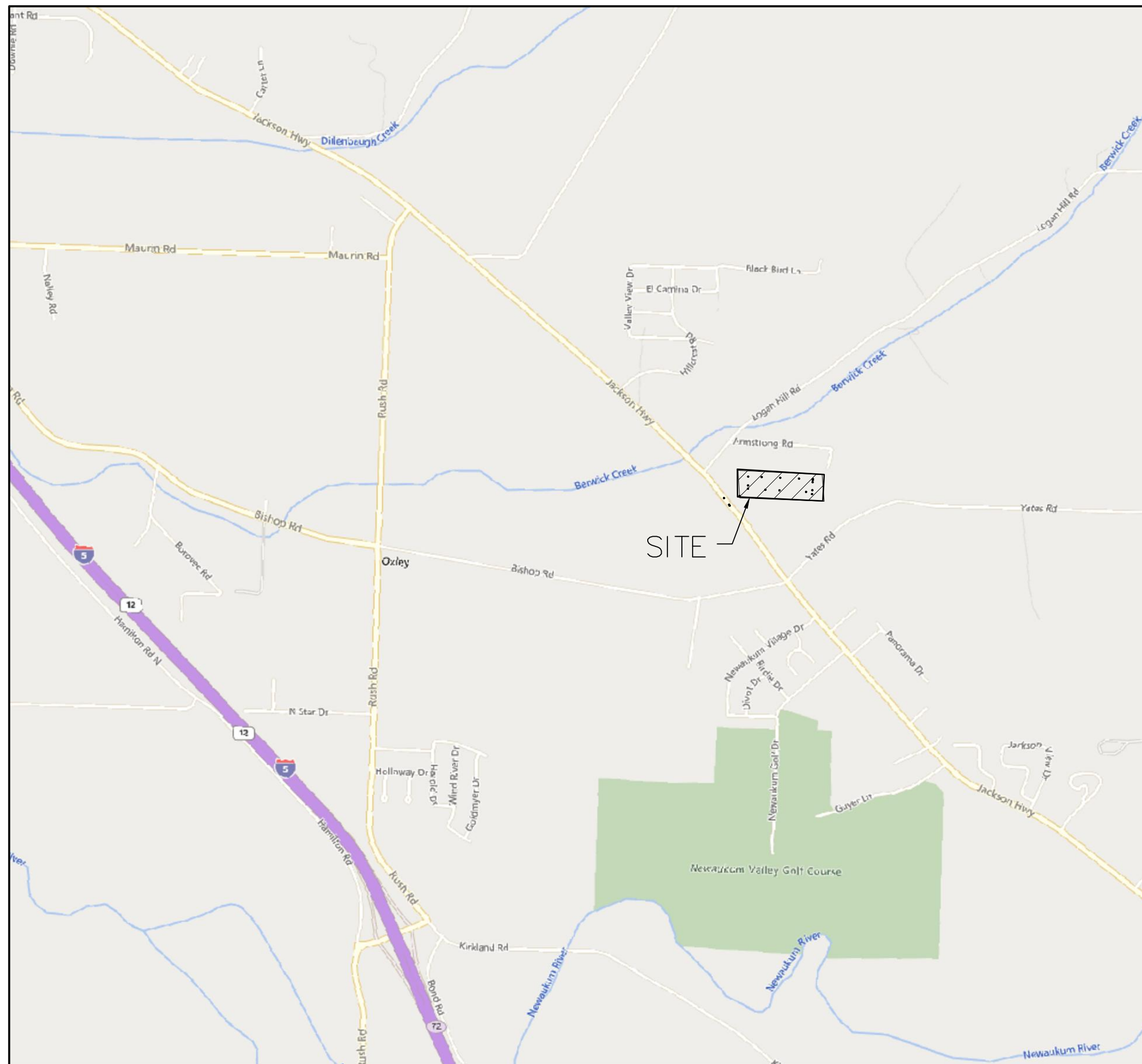
DRAWING CONTENTS:

- C0.1 COVER SHEET
- C1.1 OVERALL SITE AND TEMPORARY EROSION CONTROL PLAN
- C2.1 ROADWAY PLAN AND PROFILE
- C2.2 ROADWAY PLAN AND PROFILE
- C3.1 STORM DRAINAGE PLAN
- C4.1 SEWER PLAN
- C5.1 WATER PLAN

JACKSON HIGHWAY TINY HOMES

SECTION 11 TOWNSHIP 13N RANGE 02W PT SE4 LT 4 SP
 CHEHALIS, WASHINGTON

VICINITY MAP



UTILITIES LOCATE NOTE:

EXISTING UTILITIES LOCATION SHOWN IN THIS PLAN SET IS BASED ON INFORMATION OBTAINED FROM VARIOUS RECORDS RESEARCH, ASBUILT DATA, AND FIELD MEASUREMENTS. FULLER DESIGNS ASSUMES NO RESPONSIBILITY FOR EXACT LOCATION OF UTILITIES EITHER SHOWN OR NOT SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL VERIFY THE EXACT SIZE, DEPTH, LOCATION, AND ARRANGEMENT OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL UNDERGROUND LOCATE AT 811 PRIOR TO PERFORMING CONSTRUCTIONS ACTIVITIES.



PRELIMINARY
 FOR PERMIT ONLY

PROJECT SPECIFICATIONS:

THE WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, 2020 WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER "STANDARD SPECIFICATIONS").

ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:

- A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- B. CITY ROAD STANDARDS
- C. CITY DRAINAGE STANDARDS
- D. THE INTERNATIONAL BUILDING CODE (IBC)

CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH EXIST ON THE DATE OF CONTRACT ACCEPTANCE.

CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATION AT CONTRACTOR'S OWN EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS. ONCE WORK IS COMPLETED CONTRACTOR SHALL OBTAIN ACCEPTANCE BY THE COUNTY AND PROJECT ENGINEER.

THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE PROJECT. OMISSIONS FROM THE DRAWINGS OF DETAIL OF WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE OMITTED WORK.

ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.

WORK IN RIGHT OF WAY:

CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO COMMENCING ANY WORK LOCATED IN RIGHT OF WAY. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS, STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE RIGHT OF WAY PERMIT.

RECORD DRAWINGS:

FULLER DESIGNS IS REQUIRED BY THE CITY TO PROVIDE RECORD DRAWING CERTIFICATION PRIOR TO FINAL CITY ACCEPTANCE. FULLER DESIGNS WILL NOT CERTIFY RECORD DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY FULLER DESIGNS OF NECESSARY INSPECTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ENGINEER OR INSPECTOR OF INCONSISTENCIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ONE SET OF THE CONTRACT DRAWINGS THAT SHALL INCLUDE: ANY ALTERATIONS OR LOCATION OF UNDERGROUND UTILITIES ENCOUNTERED DURING THE PROGRESS OF THE PROJECT, ANY ALTERATIONS MADE TO THE IMPROVEMENTS BEING INSTALLED. MARKED DRAWINGS SHALL BE CLEAR AND LEGIBLE. DRAWINGS SHALL BE MARKED "RECORD DRAWINGS" AND SHALL BE SUBMITTED TO THE ENGINEER UPON PROJECT COMPLETION.

CONTRACTOR LIABILITY NOTE:

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY THROUGHOUT PROJECT EXECUTION AND NOT BE LIMITED TO WORKING HOURS. CONTRACTOR SHALL PROGRESS WORK IN A MANNER THAT SHALL INDEMNIFY AND HOLD FULLER DESIGNS HARMLESS FROM ALL LIABILITY IN CONNECTION WITH CONTRACTOR'S PERFORMED WORK.

REMOVAL OF UNSUITABLE MATERIALS:

IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR INSPECTOR AND REPLACED WITH SUITABLE MATERIAL.

UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR. PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER SO MEASUREMENT/PAYMENT CAN BE MADE PER TON OF UNSUITABLE MATERIAL REMOVED.

EROSION CONTROL NOTE:

EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE STRUCTURES WILL BE PERMITTED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SOILS TO ADJACENT PROPERTIES. DISTURBED EARTH SHALL BE STABILIZED AS REQUIRED BY THE STANDARD SPECIFICATIONS. INDIVIDUAL DESIGNATED TO MONITOR EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL HAVE CESCL CERTIFICATION.

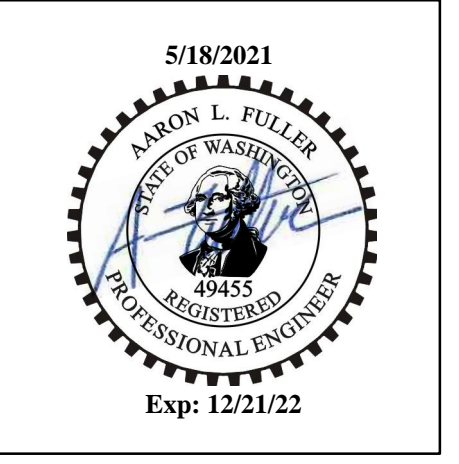
GENERAL NOTES:

CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS, DRIVEWAYS AND UTILITY SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.

AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL PRE-CONSTRUCTION STATE OR BETTER UPON COMPLETION OF WORK.

THESE DRAWINGS AND ALL ACCOMPANYING MATERIALS ARE COPYRIGHTED. UNAUTHORIZED COPYING OF THESE DOCUMENTS IS FORBIDDEN WITHOUT THE WRITTEN CONSENT OF FULLER DESIGNS.

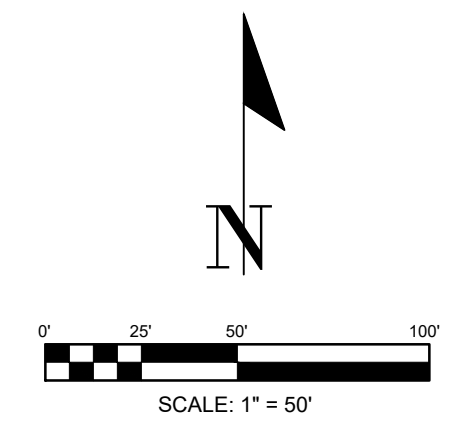
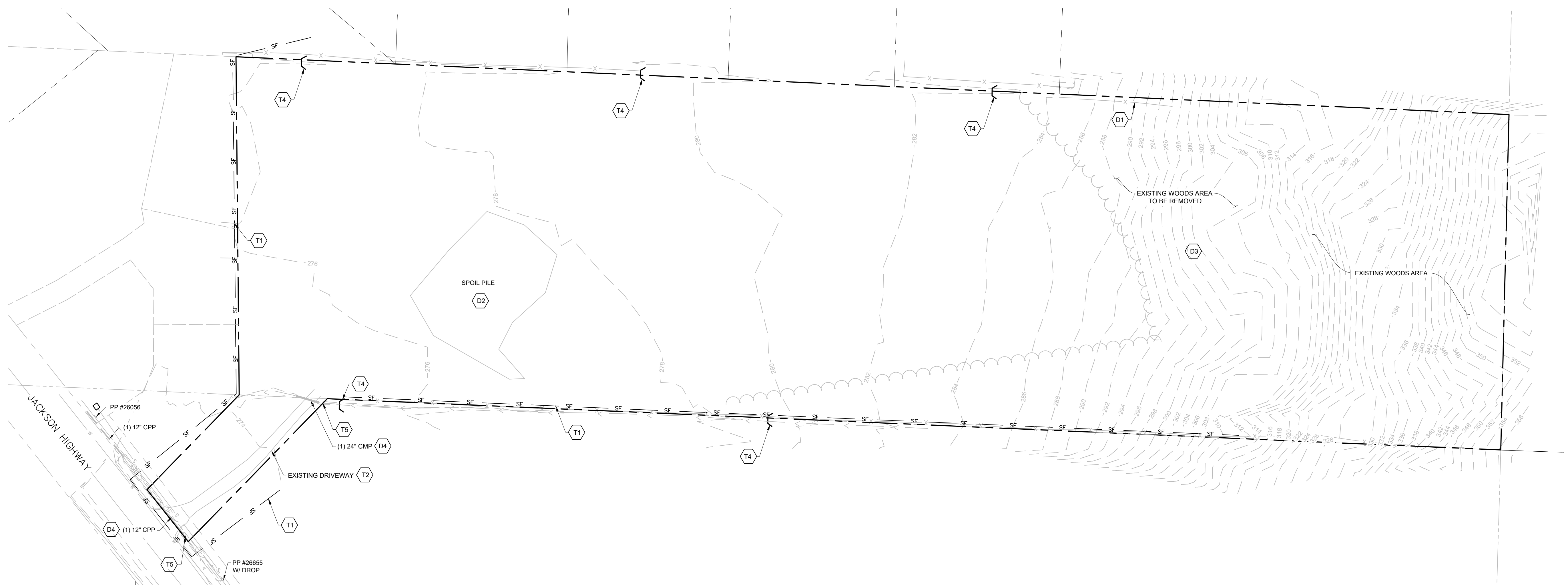
DRAWING TITLE:	COVER SHEET	CHECKED: ALF
	DATE: 5/3/2021	DRAWN: MM
	SCALE: AS SHOWN	PROJECT NAME: JACKSON HIGHWAY TINY HOMES



FULLER DESIGNS
 1101 KRESKY AVE
 CENTRALIA, WA 98531
 (360) 807-4420

REV.	DESCRIPTION	DATE
0	PRELIMINARY FOR PERMIT	5/3/2021

C0.1
 1 OF 7



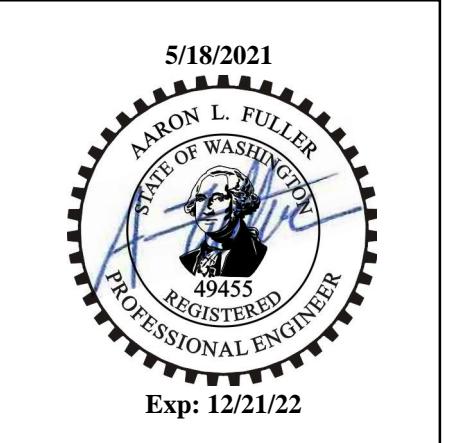
- TEMPORARY EROSION AND SEDIMENTATION CONTROL (TESC) NOTES:**
- (T1) INSTALL SILT FENCE.
 - (T2) INSTALL 100' LONG CONSTRUCTION ENTRANCE.
 - (T3) INSTALL STRAW BALE BARRIER AS SHOWN. BALES TO BE INSTALLED ALONG EXISTING DITCH SHOWN ON THIS SHEET. BALES WILL BE REMOVED ONCE SITE IS STABILIZED.
 - (T4) INSTALL TWO LAYERS OF WATTLES AND A SWATH OF SILT FENCE AROUND THE INLET FOR CULVERT INLET PROTECTION.

- DEMOLITION NOTES:**
- (D1) EXISTING FENCE TO BE REMOVED.
 - (D2) EXISTING SPOIL PILE TO BE REMOVED.
 - (D3) EXISTING TREES TO BE REMOVED.
 - (D4) EXISTING PIPES UNDER EXISTING ENTRANCE ROAD.

- EROSION CONTROL NOTES:**
1. ALL EXPOSED SOIL SURFACES SHALL BE SEEDED WITH AN EROSION CONTROL SEED MIX OR HYDROSEEDED IF NOT WORKED WITHIN 7 CALENDAR DAYS FROM MAY 1 TO SEPTEMBER 30. SOIL SHALL BE COVERED WITHIN 2 DAYS FROM OCTOBER 1 TO APRIL 30.
 2. SEEDED AREAS WILL BE COVERED WITH MULCH, HAY OR OTHER PROTECTIVE COVERING APPROVED BY THE ENGINEER TO PREVENT WASHOUT DURING RAIN EVENTS.
 3. CONTRACTOR SHALL APPLY WATER TO GRAVEL SURFACES DURING CONSTRUCTION TO MINIMIZE FUGITIVE DUST.
 4. ROUTINE INSPECTION AND MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL BMPs, ESPECIALLY AFTER STORMS, IS REQUIRED.
 5. PERIODIC STREET CLEANING MAY BE NECESSARY TO REMOVE ANY SEDIMENT TRACKED OFF SITE.
 6. IN THE EVENT PROPOSED BMPs FAIL, APPROPRIATE MEASURES MUST BE TAKEN TO STOP SEDIMENTS FROM ENTERING WATERWAYS.

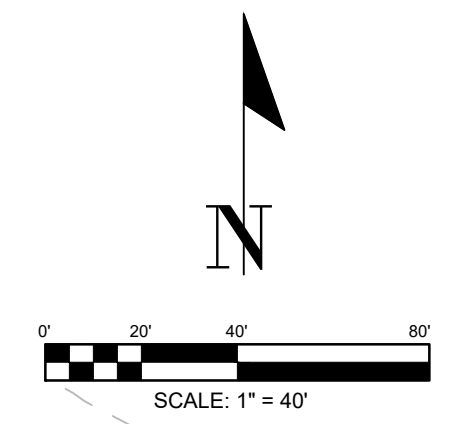
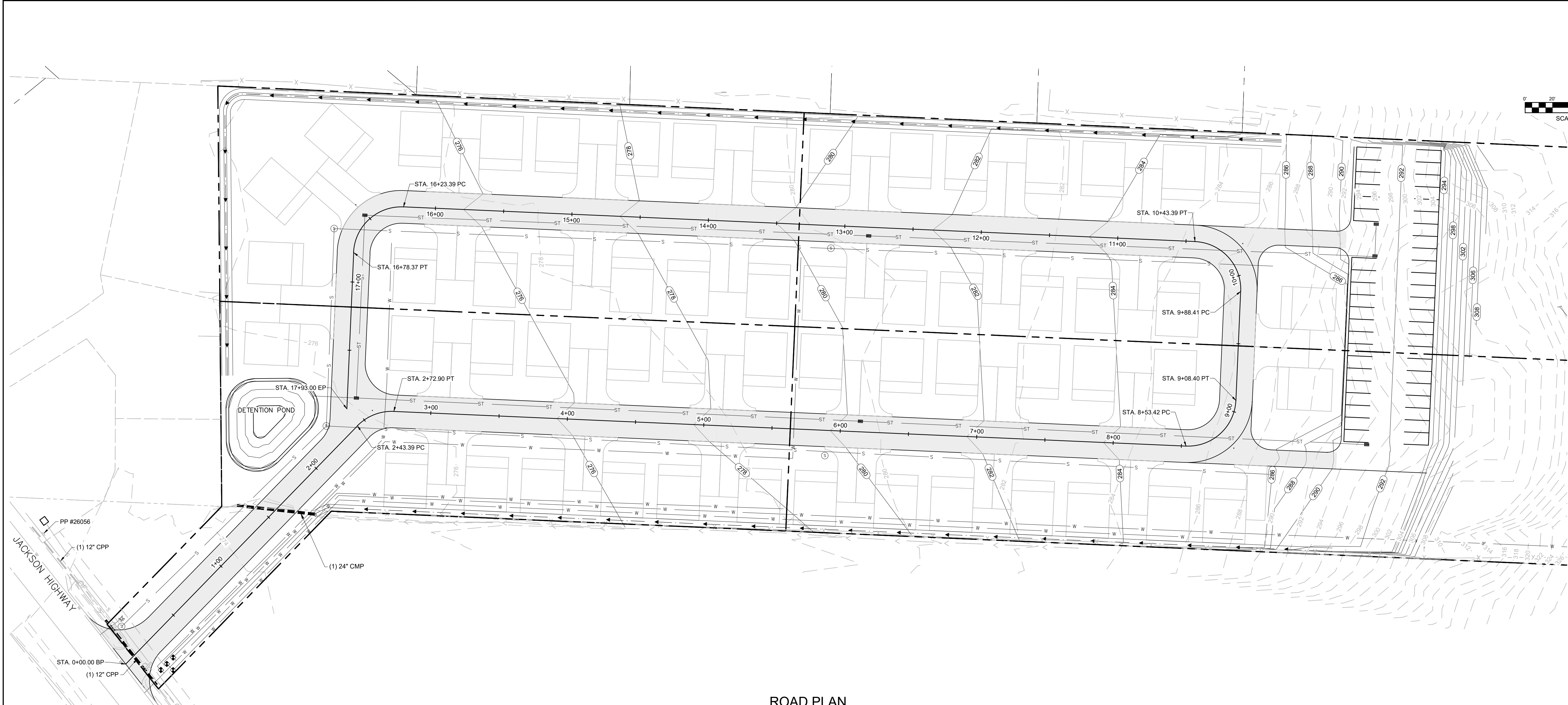
PRELIMINARY
FOR PERMIT ONLY

DRAWING TITLE: OVERALL SITE AND TEMPORARY EROSION CONTROL PLAN			
SCALE: 1" = 50'	DATE: 5/3/2021	DRAWN: MM	CHECKED: ALF
PROJECT NAME: JACKSON HIGHWAY TINY HOMES			

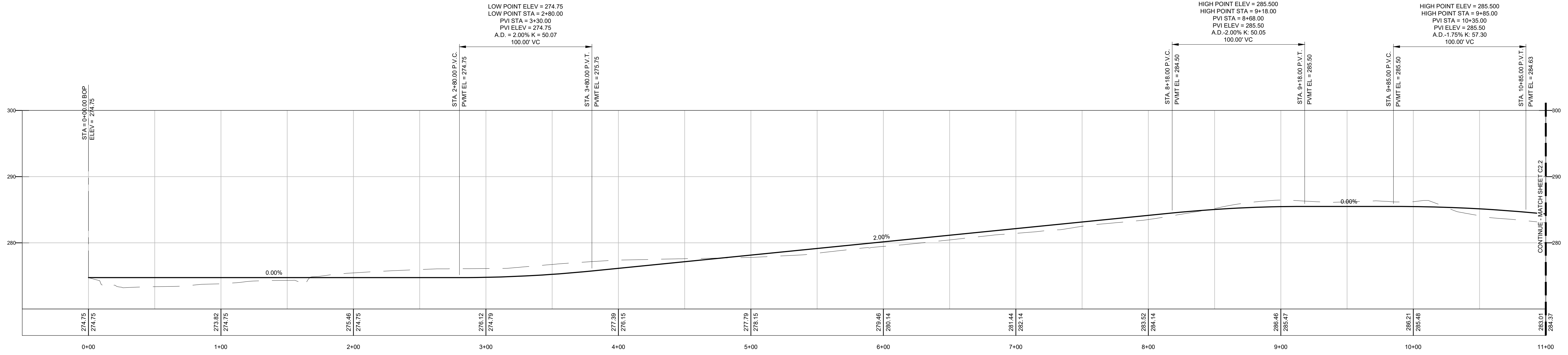


FULLER DESIGNS
1101 KRESKY AVE
CENTRALIA, WA 98531
(360) 807-4420

REV.	DESCRIPTION	DATE			
0	PRELIMINARY FOR PERMIT	5/3/2021			



ROAD PLAN
(SCALE: 1" = 40')



ROAD PROFILE
HORZ SCALE: 1" = 40'
VERT. SCALE: 1" = 5'

PRELIMINARY
FOR PERMIT ONLY

DRAWING TITLE: ROAD PLAN AND PROFILE

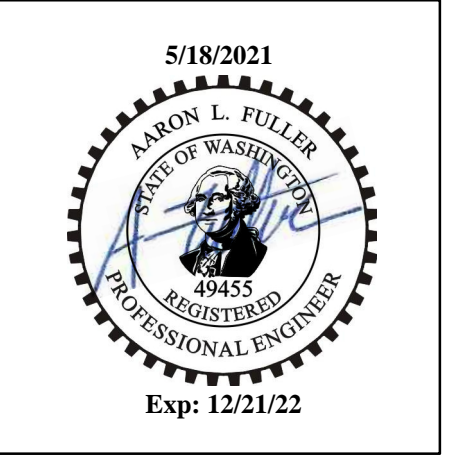
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DATE: 5/3/2021

DRAWN: MM

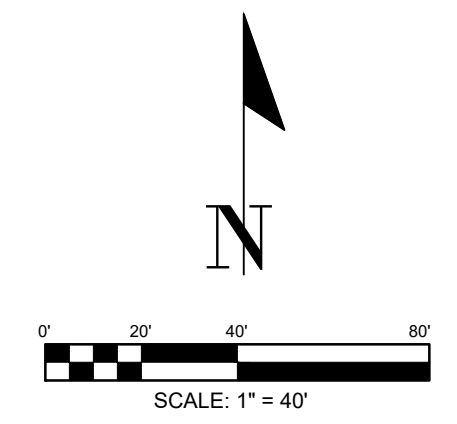
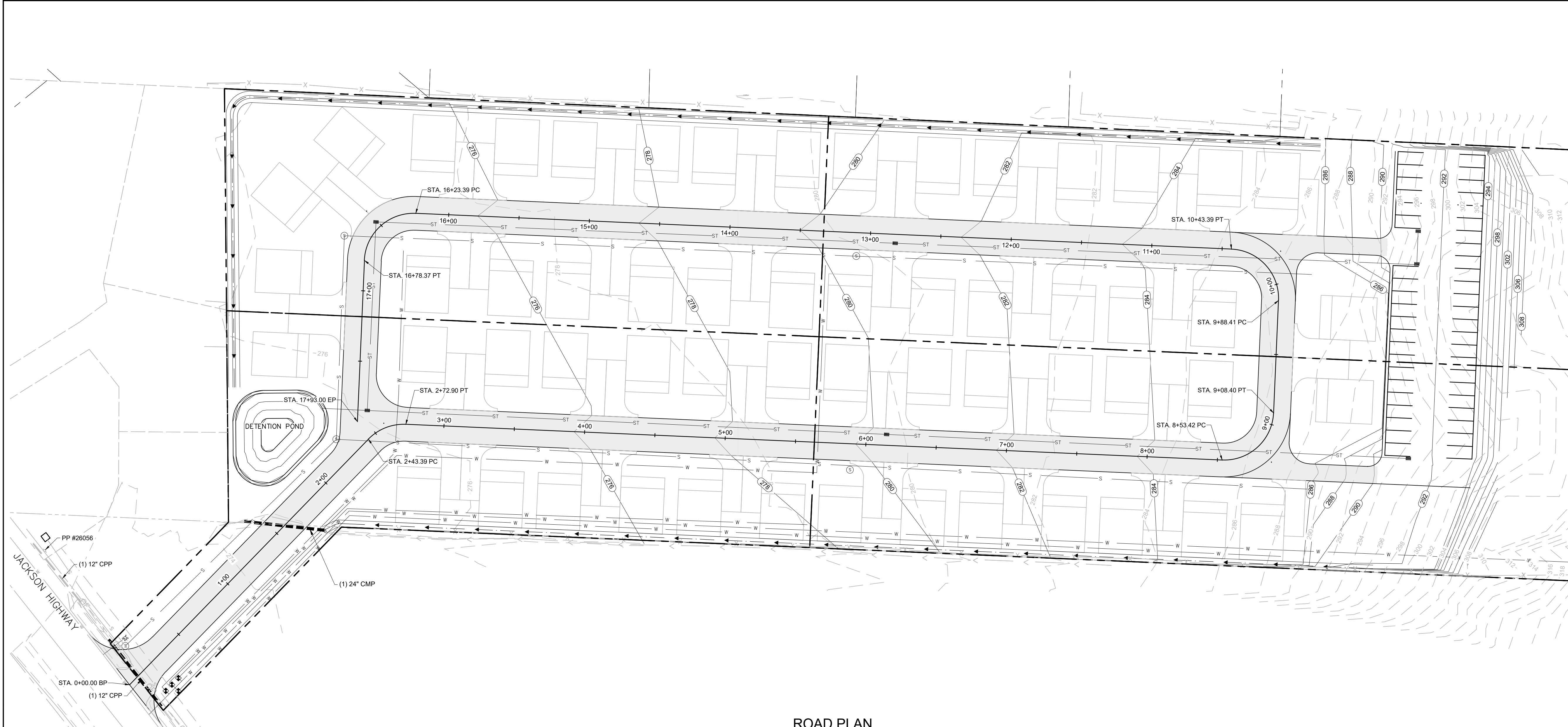
CHECKED: ALF

PROJECT NAME: JACKSON HIGHWAY TINY HOMES

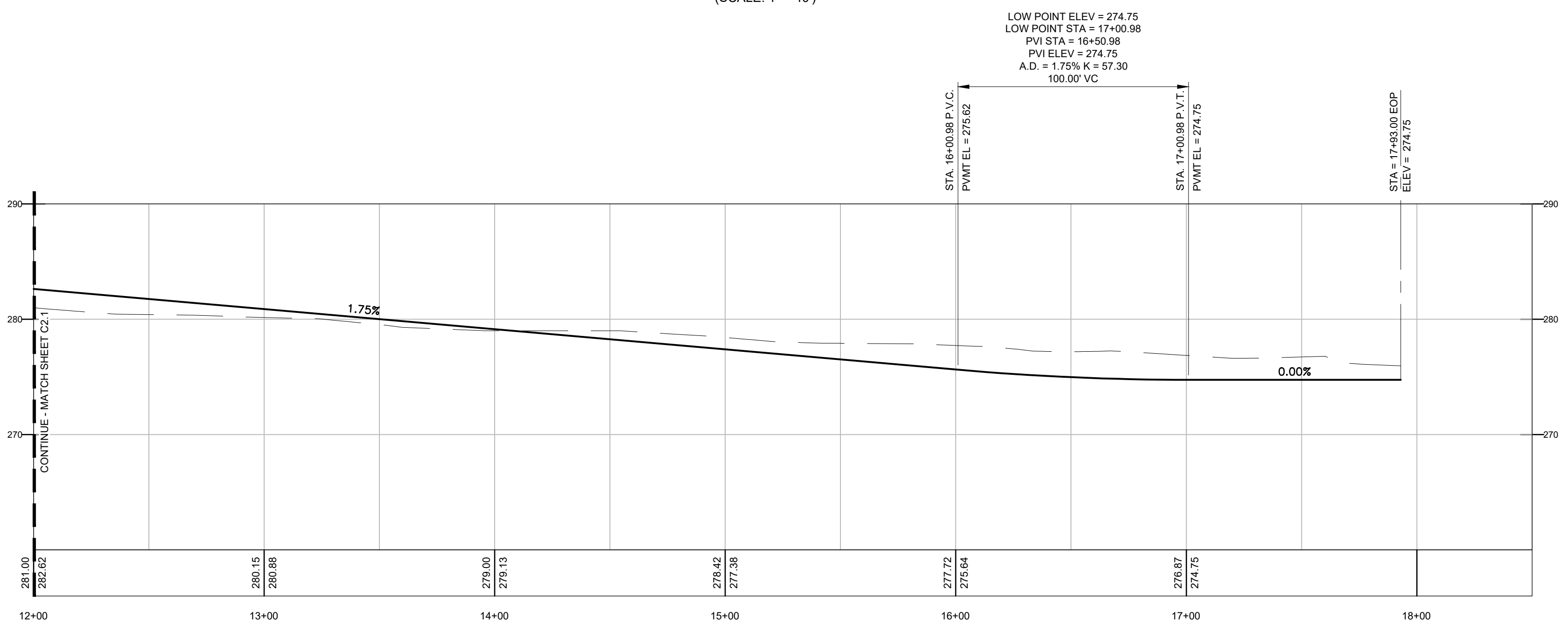


FULLER DESIGNS
1101 KRESKY AVE
CENTRALIA, WA 98531
(360) 807-4420

REV.	DESCRIPTION	DATE
0	PRELIMINARY FOR PERMIT	5/3/2021



ROAD PLAN
(SCALE: 1" = 40')



ROAD PROFILE
HORZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 5'

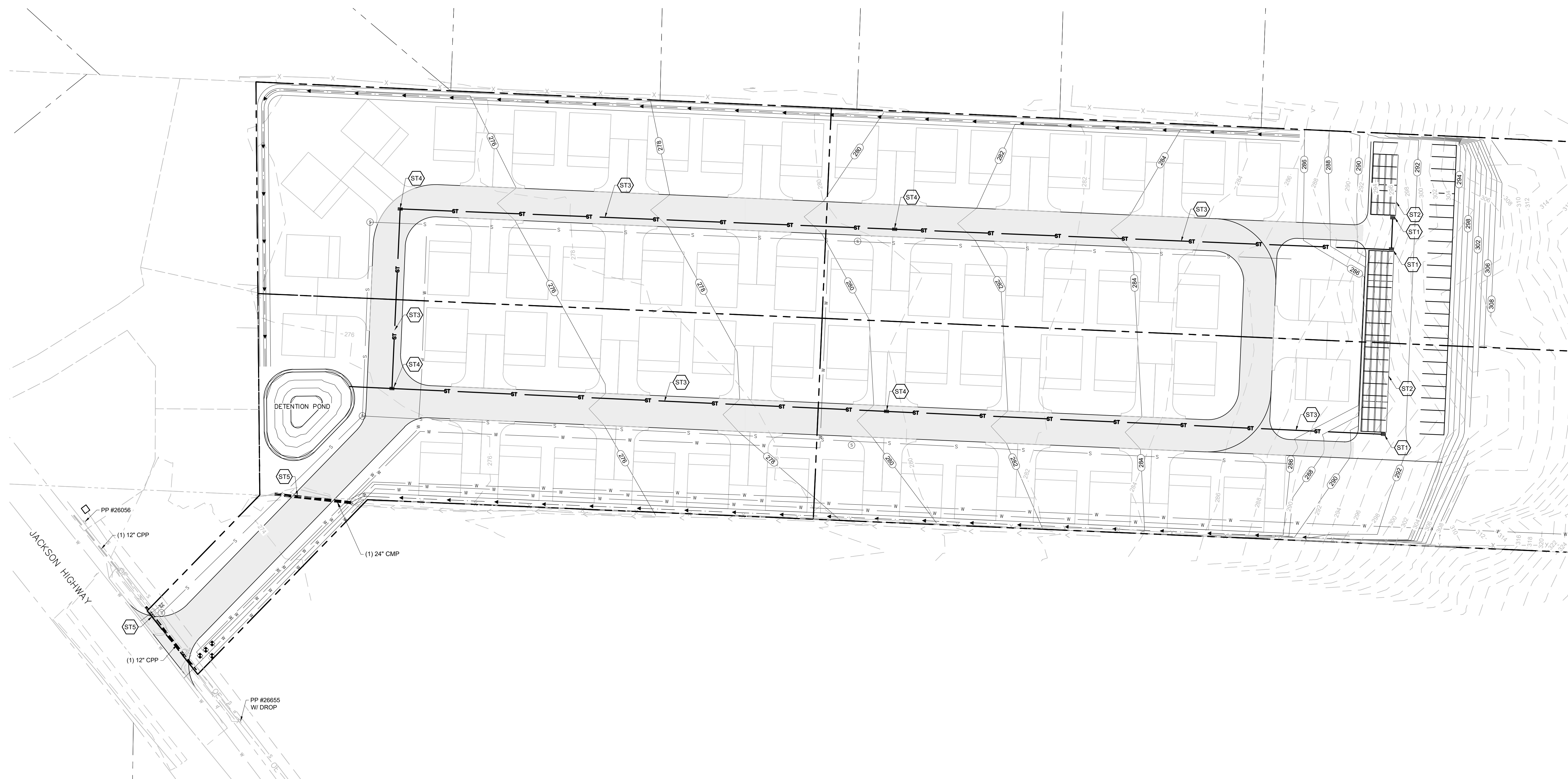
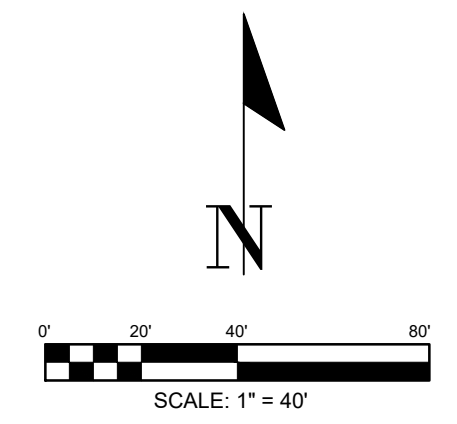
PRELIMINARY
FOR PERMIT ONLY

DRAWING TITLE: ROAD PLAN AND PROFILE			
SCALE: 1" = 40'	DATE: 5/3/2021	DRAWN: MM	CHECKED: ALF
PROJECT NAME: JACKSON HIGHWAY TINY HOMES			

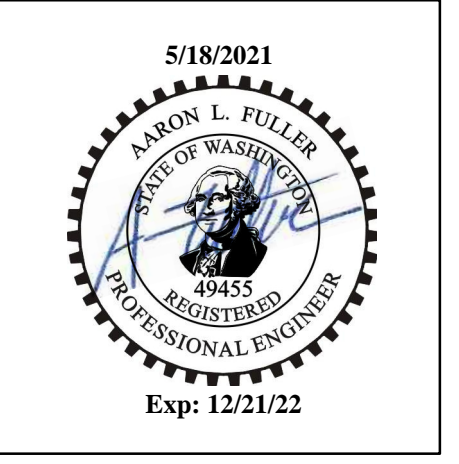


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REV.	DESCRIPTION	DATE
0	PRELIMINARY FOR PERMIT	5/3/2021



DRAWING TITLE: STORM DRAINAGE PLAN			
SCALE: 1" = 40'	DATE: 5/3/2021	DRAWN: MM	CHECKED: ALF
PROJECT NAME: JACKSON HIGHWAY TINY HOMES			

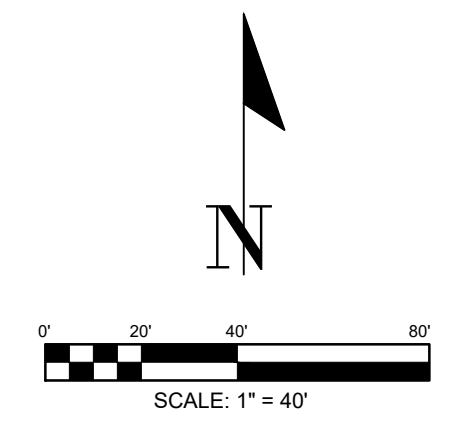
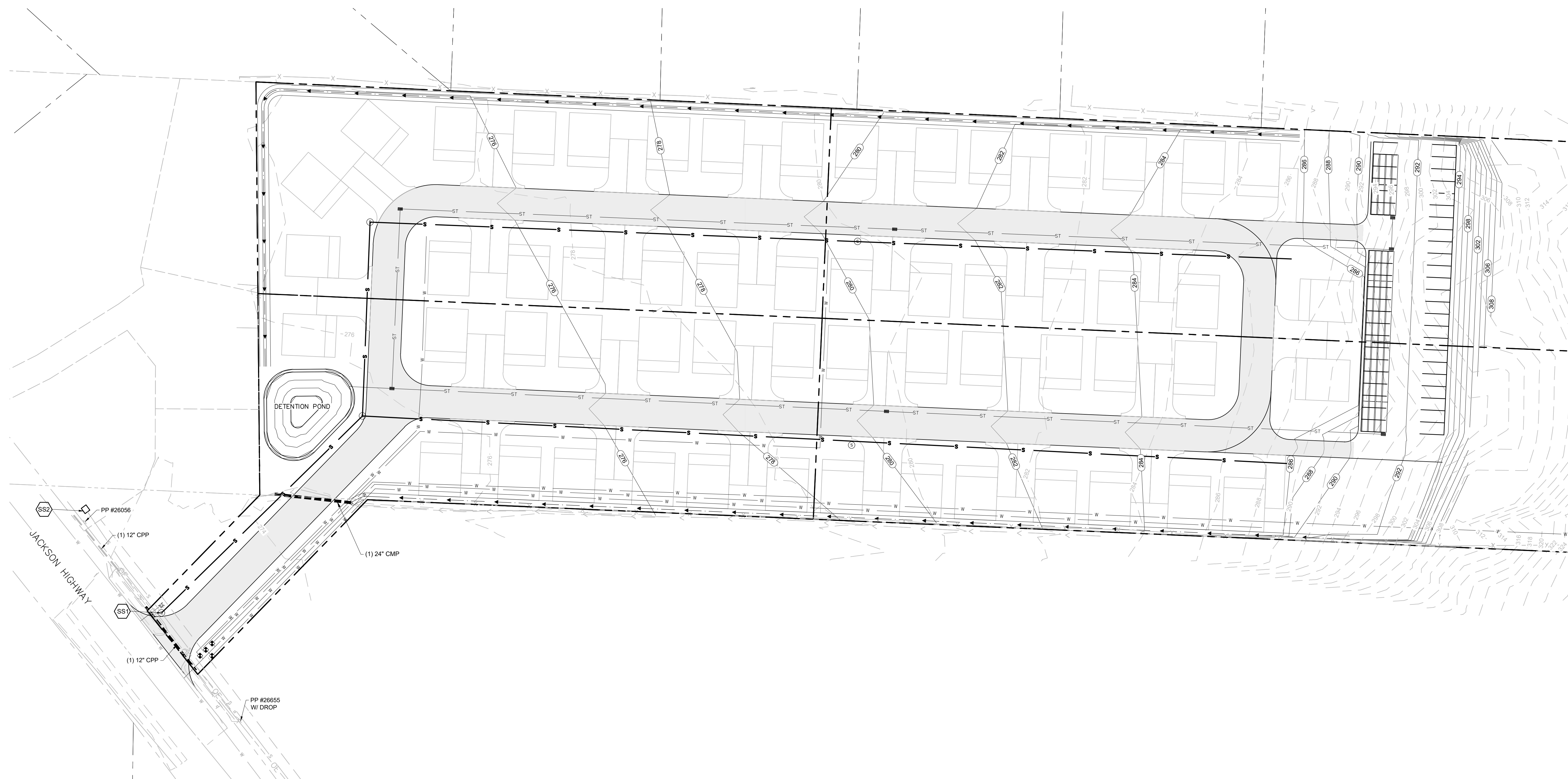


FULLER DESIGNS
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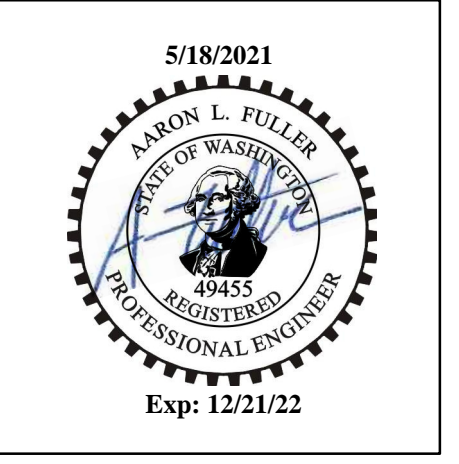
REV.	DESCRIPTION	DATE
0	PRELIMINARY FOR PERMIT	5/3/2021

- STORMWATER NOTES:**
- (ST1) INSTALL CB CONTECH 2 CARTRIDGE STORMFILTER
 - (ST2) INSTALL CONTECH CHAMBERMAXX STORMWATER RETENTION SYSTEM
 - (ST3) INSTALL STORM PIPE
 - (ST4) INSTALL CB GRATE LID
 - (ST5) INSTALL CULVERT

PRELIMINARY
FOR PERMIT ONLY



DRAWING TITLE: SEWER PLAN		CHECKED: ALF
SCALE: 1" = 40'	DATE: 5/3/2021	DRAWN: MM
PROJECT NAME: JACKSON HIGHWAY TINY HOMES		

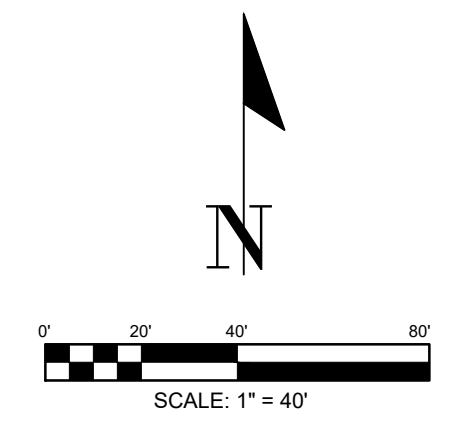
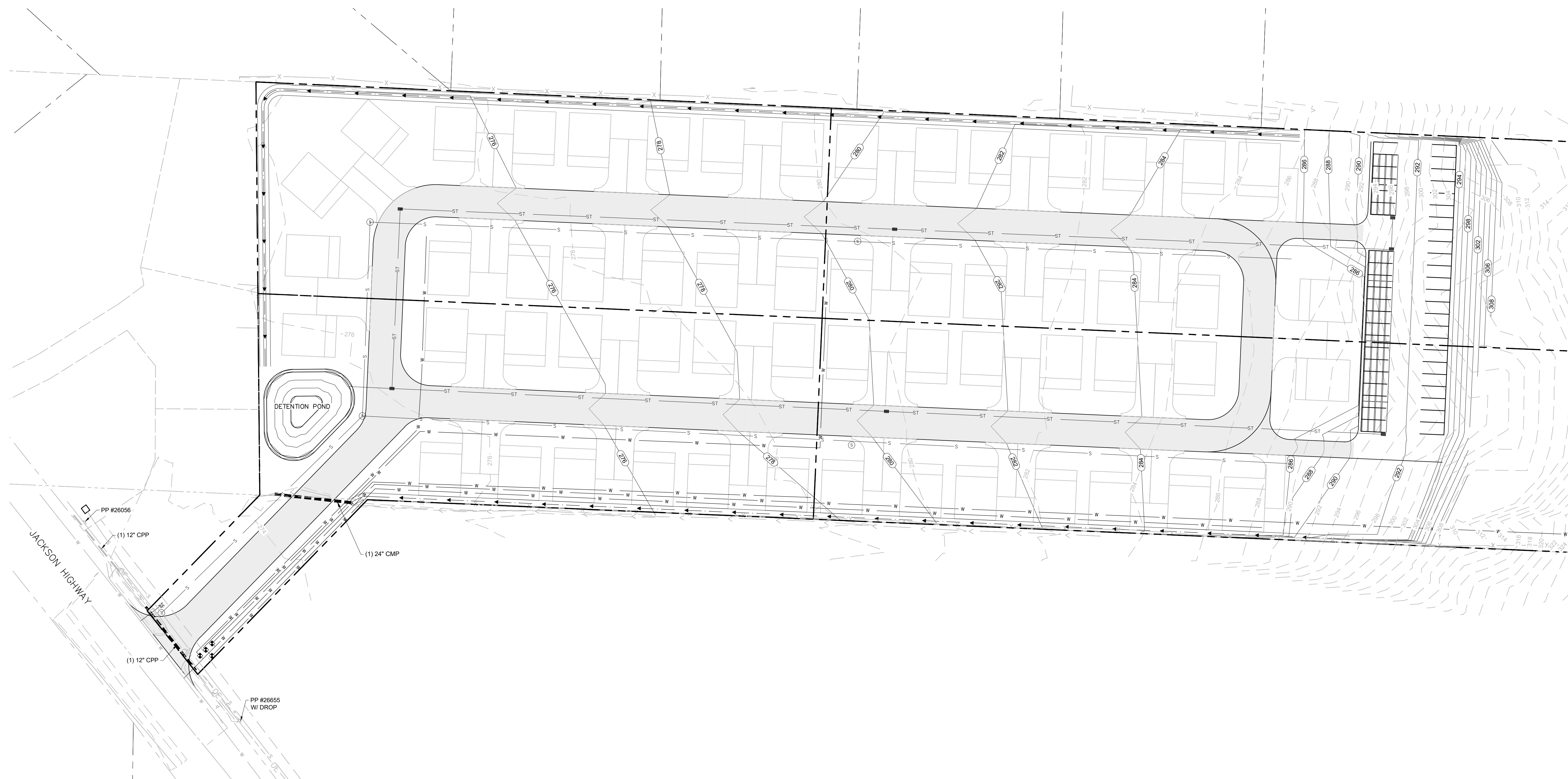


FULLER DESIGNS
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 CENTRALIA, WA 98531
 (360) 807-4420

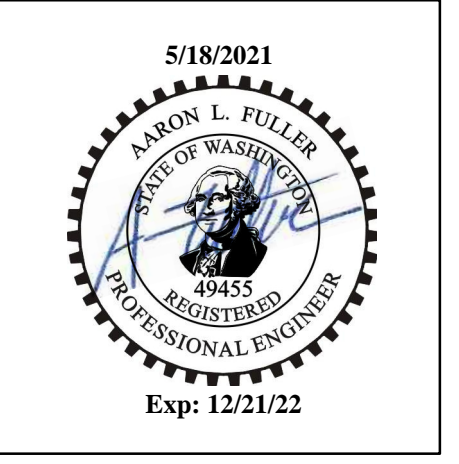
REV.	DESCRIPTION	DATE
0	PRELIMINARY FOR PERMIT	5/3/2021

- SEWER NOTES:**
- SS1 INSTALL MANHOLE
TIE TO EXISTING SEWER LINE APPROX. FL 267.75
 - SS2 EXISTING LIFT STATION @ STA. 191+50.45 PER
LEWIS CO. SEWER DIST. #1, LOGAN HILL SEWAGE
COLLECTOR PLANS. BASE EL. 252.00

PRELIMINARY
FOR PERMIT ONLY



DRAWING TITLE: WATER PLAN			
SCALE: 1" = 40'	DATE: 5/3/2021	DRAWN: MM	CHECKED: ALF
PROJECT NAME: JACKSON HIGHWAY TINY HOMES			



FULLER DESIGNS
 1101 KRESKY AVE
 CENTRALIA, WA 98531
 (360) 807-4420

REV.	DESCRIPTION	DATE
0	PRELIMINARY FOR PERMIT	5/3/2021

- SEWER NOTES:**
- SS1 INSTALL MANHOLE
TIE TO EXISTING SEWER LINE APPROX. FL 267.75
 - SS2 EXISTING LIFT STATION @ STA. 191+50.45 PER
LEWIS CO. SEWER DIST. #1, LOGAN HILL SEWAGE
COLLECTOR PLANS. BASE EL. 252.00

PRELIMINARY
FOR PERMIT ONLY

Issued Building Permits

Issued Dates: 2022-01-01-2022-02-07

Date Issued	Permit Number	Applicant	Parcel Number	Site Address	Project Description	Contractor	Vauation	Fee Amount	Total Fees (Permit Type)
01/27/2022	BU-COM-22-001	ARW HOLDINGS LLC	005604183502	2005 JACKSON...	2005 Jackson Hwy New flag pole		\$5,500.00	\$251.88	
BU-COMMERCIAL:							\$5,500.00		\$251.88
01/14/2022	BU-NCOM-...	PARTNERS ARCHITECTURAL...	005605825001	625 NW Arkansas Way	625 NW Arkansas way New Glint car wash	KUGEL CONSTRUC...	\$720,000.00	\$9,968.88	
BU-COMMERCIAL (NEW):							\$720,00...		\$9,968.88
01/04/2022	BU-RES-21-006	LANDIS, KAREN	005604027006	1597 THOMSEN...	PV Solar Roof Mount Installation, 3.96 kw,...	Solgen Power, LLC	\$3,405.60	\$140.88	
01/14/2022	BU-21-0087	Korey Yada	004082000000	155 SE WASHINGT...	voluntary foundation repairs to stabilize...		\$16,000.00	\$365.88	
01/24/2022	BU-21-0077	Charles Allen	021862001018	0239 ALDERWO...	roof over existing outside deck attache...	Curt Stump	\$25,000.00	\$534.63	
02/07/2022	BU-RES-22-001	Dennis Harmon	004969000000	86 4TH ST SW	proposed one bedroom ADU	Harmon and Harmon...	\$35,000.00	\$832.38	
BU-RESIDENTIAL:							\$79,405....		\$1,873.77
01/05/2022	DE-22-001	LEWIS COUNTY FACILITIES	003882000000	57 MAIN ST W	demo of existing non load bearing walls,...			\$100.00	
DEMOLITION:							\$0.00		\$100.00
01/11/2022	ME-22-002	Olympia Fireplace & Spa	017708006000	824 SE Adams Ave	remove old gas insert & liner & replace wit...			\$49.00	
01/19/2022	ME-22-003	MSGs Architects PSC	005605080002	2690 KRESKY AVE NE	6 new heat recovery units, added to...	MSGs Architects...		\$217.00	
01/19/2022	ME-22-005	JENSEN, FREDERIK D & LEAH M	005382000000	0074 12TH ST SW	74 12th St Install new ductless unit			\$49.00	
01/20/2022	ME-22-004	Black Hills Inc.	005251000000	0543 CHEHALIS...	replacing existing gas furnace	Black Hills Inc.		\$49.00	
01/20/2022	ME-22-006	WILSON, STACEY C & TIMOTHY M	005531039002	1020 EVERGREE...	new gas furnace	Mills Heating & Cooling		\$49.00	
01/28/2022	ME-22-007	TRAYLOR, BRAXTON GREY & JEANINE C	017875734011	0196 WIND RIVER DR	replace heat pump and air handler	SUNSET AIR INC		\$49.00	
MECHANICAL:							\$0.00		\$462.00
01/11/2022	PLM-22-001	SPL PROPERTIES, LLC	005397003000	1149 CASCADE...	sewer line repair (No Side sewer repair)	DJs Plumbing LLC		\$175.00	
01/28/2022	PLM-22-002	BLACK HILLS INC.	005605069018	2165 SW OLYMPIC DR	replace 50 gallon electric water heater	Black Hills Inc.		\$42.00	
01/28/2022	PLM-22-003	BLACK HILLS INC.	005251000000	0543 CHEHALIS...	replace 50 gallon natural gas hot wate...			\$42.00	
PLUMBING PERMIT:							\$0.00		\$259.00
01/11/2022	RR-22-001	CHEHALIS SHEET METAL & ROOF CO	005605011000	484 SW 18TH ST	re-roofing		\$147.00	\$172.00	

Issued Building Permits

Issued Dates: 2022-01-01-2022-02-07

Date Issued	Permit Number	Applicant	Parcel Number	Site Address	Project Description	Contractor	Vauation	Fee Amount	Total Fees (Permit Type)
01/20/2022	RR-22-002	Safe Cover Roofing	005185000000	378 SW Chehalis Ave.	re-roofing		\$189.00	\$214.00	
01/24/2022	RR-22-003	THE ROOF DOCTOR, INC.	003834000000	0172 MAIN ST W	re-roofing		\$126.00	\$75.00	
01/26/2022	RR-22-004	The Roof Doctor	003834000000	0172 MAIN ST W	re roof		\$77.00	\$75.00	
02/01/2022	RR-22-006	CHEHALIS SHEET METAL & ROOF CO	005460000000	691 NW ST HELENS AVE	re-roofing		\$196.00	\$221.00	
02/03/2022	RR-22-007	The Roof Doctor	004725000000	0541 RHODE ISLAND AV...	re-roofing		\$168.00	\$193.00	
02/07/2022	RR-22-008	The Roof Doctor	004401001002	0645 OHIO AVE NW	re-roofing		\$154.00	\$179.00	
ROOFING:							\$1,057.00	\$1,129.00	
01/06/2022	SI-21-018	Yesco LLC	005665106003	1200 MARYLAND...	1200 Maryland Remove Existing sig...	Yesco LLC	\$8,750.00	\$301.13	
SIGN:							\$8,750.00	\$301.13	
01/04/2022	UGA-BU-21-0063	Edminster Quality Construction	010731002002	2893 JACKSON...	New SFR with attached garage	Edminster Quality...	\$300,000.00	\$3,261.88	
01/04/2022	UGA-BU-21-0064	Edminster Quality Construction	010731002001	2891 JACKSON...	New SFR with attached garage	Edminster Quality...	\$300,000.00	\$3,261.88	
01/25/2022	BU-NRES-...	DAVIDSON, BRIAN & MICHELLE	017848007002	113 Taylor Rd	new SFR	Affordable Stick Built...	\$407,510.00	\$4,194.13	
01/25/2022	UGA-BU-22-0001	DAVIDSON, BRIAN & MICHELLE	017848007002	113 Taylor Rd	new SFR	Affordable Stick Built...	\$407,510.00	\$0.00	
UGA-RESIDENTIAL (NEW):							\$1,415,0...	\$10,717.89	
TOTAL # OF PERMITS FOR THE MONTH							\$2,229,732.60	25063.55	