

TO: Ken Cardinale
Glenn Schaffer
Angie Elder

Devlan Pool
Trent Loughheed
Don Schmitt

Celest Wilder
Dave Vasilauskas
Brandon Rakes

Tammy Baraoni
Deborah King

* * * * *

DEVELOPMENT REVIEW COMMITTEE AGENDA

Chehalis Community Development Department

June 2, 2020

Community Development Office, 1321 S. Market Blvd.

* * * * *

I. Meeting Agenda for Action Items.

- A. Pre-application Conference
None at this time.
- B. New land use applications for review
None at this time.

*Because of the current Stay-At-Home order issued by the Governor, the DRC is not currently meeting in person to review these applications. **All comments from members of the DRC regarding these items must be sent to Deborah King at dking@ci.chehalis.wa.us no later than 4:30 pm on Thursday.** Deborah will either compile the comments into one letter or add them to the permit as conditions of approval, whichever is appropriate. If there are items on this agenda that warrant a group conversation, please let Deborah know so that she can schedule an online meeting for the necessary parties.*

II. Public Works Applications

- A. EN-20-007 / 124 Hosanna Ln / Second meter for proposed Condo
- B. RWC-20-023 / 11th & Market / Access manholes/Splice cable
- C. RWC-20-024 / Kresky Rd / Run aerial fiber to site
- D. RWC-20-025 / 486 N Market / tap into main for fire line connection

III. Weekly Informational Reports

- A. Applications under review (older)
- B. Issued permits past week only
- C. Code Enforcement/Abatement
- D. Business Licenses issued last week

Right of Way Use Attachment
City of Chehalis

Public Works Department
 2007 NE Kresky Avenue
 Chehalis, WA 98532
 (360) 748-0238

Police Department
 350 N Market Blvd.
 Room 201
 Chehalis, WA 98532
 (360) 748-8605

RWC-20-023

Type of Permit:

- Right-of Way Disturbance Short Term / Temporary Long Term / Annual
 Neighborhood Event/Parade Other

Part A:

Number of Days Requested: 10 days (90 day maximum for Disturbance and Short Term permits)

Start Date: 6-19-2020 Start Time: 7AM Hours of Use: 7 a.m. to 4 p.m.

Part B:

1. Will the work involve occupancy of any street or traveled way, result in interference to any traffic or pedestrian flow, require interruption or re-routing of any vehicular or pedestrian traffic, or have any other influence on any traffic? (circle one) **NO** **YES** (If YES, a traffic control plan is required and must be submitted for approval. The traffic control plan must be in compliance with the Federal Highway Administration Manual on Uniform Traffic Control Devices and any other provisions designated by Public Works Standards.)
2. Will the work involve any disturbance to the surface, subsurface, or super-surface (bridges) of any city street right-of-way? (circle one) **NO** **YES** (If YES, a traffic control plan is required and must be submitted for approval. The permit must be obtained by a Washington State licensed and bonded contractor. The traffic control plan must be in compliance with the Federal Highway Administration Manual on Uniform Traffic Control Devices and any other provisions designated by Public Works Standards.)

The applicant/contractor hereby agrees to perform the described work with due regard for the rights, interests, and conveniences of the public. The applicant further agrees to perform the work in compliance with all City of Chehalis ordinances/standards, state and federal regulations, and with any conditions of approval listed on the permit document.

“CALL BEFORE YOU DIG” 1-800-424-5555

****State law requires 48 hour advance notice to all utilities prior to any excavation work****

1. The petitioner, designated herein as the “grantee”, their successors and assigns, will have the right and authority to enter upon the right-of-way of the city street, alley, public place or structure as indicated on the front of this form, for the purpose of such activity as applied for and approved by the Public Works Department. All provisions, conditions, regulations and requirements herein contained will be binding upon the successors and assigns of the grantee. The issuance of this permit does not diminish or negate the grantee’s responsibility to comply with any other regulations, standards, licenses or obligations not covered under this permit.
2. A *Right-of-Way Disturbance Permit* is for activities that will alter the appearance of or disturb the surface, super-surface or sub-surface of a right-of-way on a temporary or permanent basis.
3. A *Short-term and Temporary Permit* is for activities that involve short-term commitments that do not physically disturb or alter the right-of-way. Uses include but are not limited to: festivals, displays, concerts and public or private gatherings. See Municipal Code 12.56.060.

1021

1068

1039

1059

1100

1079

19

SPEED LIMIT 30

SPEED LIMIT 25

NOTE:

POF: @ MANHOLE 11, SPLICE COUNT LCL5,135-136 TO 48 FIBER STUB (PLACED ON N.630063) THEN TO 144 FIBER [AD52P]. COUNT WILL FALL TO MANHOLE 17.

REQUIRED PERMIT TO ACCESS MH # 11 TO SPLICE FIBER. SEE TCP # 1

NOTE: FOR UNDERGROUND ACTIVITY: TEST AND VENTILATE MANHOLE/UTILITY VAULT PRIOR TO ENTRY, PLACE WARNING DEVICES AND WORK AREA PROTECTION AS REQUIRED, AND USE EYE AND HEAD SAFETY PROTECTION PER FEDERAL, STATE, AND LOCAL REGULATIONS.

FIBER ENGINEER: BARBARA GRAVES PHONE NO: (520) 256-5220 EMAIL: barbara.graves@centurylink.com	MT LTD ENGINEER: DON MITCHELL PHONE NO: (360) 451-5324 EMAIL: donald.mitchell@centurylink.com	TOWN: 13N	RNGE: 2W	SECT: 42
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NOTICE-NOT FOR DISCLOSURE OUTSIDE OF CENTURYLINK AND AFFILIATES EXCEPT UNDER WRITTEN AGREEMENT



CALL TWO WORKING DAYS BEFORE YOU DIG

811

2015 JACKSON HWY CHEHALIS, WA 98532	JOB: N.725404 GEO CODE: 6/2 Page 3 of 34 WC CLLI: CHHLWA01
DRAFTED BY: MOUNTAIN I TD/SI 04/24/20	

UNKN POLE REF ONLY
 0+00 CTL MH 17
 27'

NOTE:
 @ MANHOLE 17, SPLICE
 COUNT TO NEW 24 FIBER.
 PLACE NEW 24 FIBER THRU
 EXISTING CONDUIT APPROX
 270' & SET A NEW HANDHOLE
 & INTERCEPT CONDUIT.

**REQUIRED PERMIT TO
 ACCESS MH # 17 TO
 PLACE AND SPLICE
 FIBER. SEE TCP # 1**



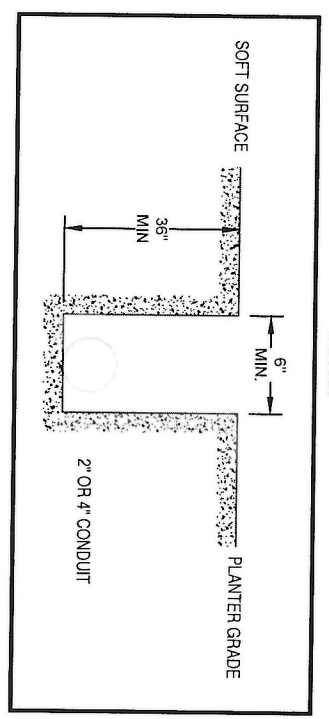
SW 20th STREET



S. MARKET BLVD/JACKSON HWY

NOTE:
 @ NEW HANDHOLE, CONTINUE
 TO TRENCH IN DIRT NEW 24
 FIBER APPROX 110' TO
 CUSTOMER'S BUILDING.
**REQUIRED PERMIT TO
 INTERCEPT EXISTING
 CONDUIT AND TIE-IN
 TO THE NEW HANDHOLE.
 SEE TCP # 2**

NOTE:
 @ CUSTOMER'S BUILDING,
 PLACE NEW EQUIPMENT.
 3+80 MPOP



TRENCH DETAIL 'A'
 TRENCH PLACEMENT OF 2" OR 4" CONDUIT - 36" MIN
 N.T.S.

NOTE:
 FOR UNDERGROUND ACTIVITY, TEST AND VENTILATE
 MANHOLE/UTILITY VAULT PRIOR TO ENTRY. PLACE
 WARNING DEVICES AND WORK AREA PROTECTION AS
 REQUIRED, AND USE EYE AND HEAD SAFETY PROTECTION
 PER FEDERAL, STATE, AND LOCAL REGULATIONS.

FIBER ENGINEER: BARBARA GRAVES
 PHONE NO: (520) 256-5220
 EMAIL: barbara.graves@centurylink.com

MT LTD ENGINEER: DON MITCHELL
 PHONE NO: (360) 451-5324
 EMAIL: donald.mitchell@centurylink.com

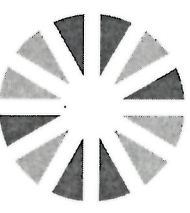
TOWN: 13N
RANGE: 2W
SECT: 42

NOTICE: NOT FOR DISCLOSURE OUTSIDE OF CENTURYLINK AND AFFILIATES EXCEPT UNDER WRITTEN AGREEMENT

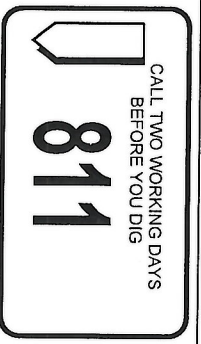
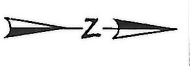
2015 JACKSON HWY
 CHEHALIS, WA 98532

JOB: N.725404
 GEO CODE:

WC CLLI: CHHLWA01



CenturyLink



DRAFTED BY: MOUNTAIN LTD/SL 04/24/20

6/2 Page 4 of 34

DRAWN BY: ELENA BRUNSTEIN

BUFFER DATA	
TYPICAL PROTECTIVE VEHICLE WITH TMA (SEE NOTE 1)	
VEHICLE TYPE	LOADED WEIGHT
4 YARD DUMP TRUCK, SERVICE TRUCK, FLAT BED, ETC.	MINIMUM WEIGHT 15,000 LBS. (MAXIMUM WEIGHT SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATION)
◇ ROLL AHEAD STOPPING DISTANCE = 30 FEET MIN. (DRY PAVEMENT ASSUMED)	

MINIMUM TAPER LENGTH = L (FEET)							
LANE WIDTH (FEET)	POSTED SPEED (MPH)						
	25	30	35	40	45	50	55
10	105	150	205	270	450	500	550
11	115	165	225	294	495	550	605
12	125	180	245	320	540	600	650

SIGN SPACING = X (1)		
RURAL ROADS	45 / 55 MPH	500' ±
RURAL ROADS & URBAN ARTERIALS	35 / 40 MPH	350' ±
RURAL ROADS, URBAN ARTERIALS, RESIDENTIAL & BUSINESS DISTRICTS	25 / 30 MPH	200' ± (2)
URBAN STREETS	25 MPH OR LESS	100' ± (2)
ALL SIGNS ARE BLACK ON ORANGE UNLESS DESIGNATED OTHERWISE		

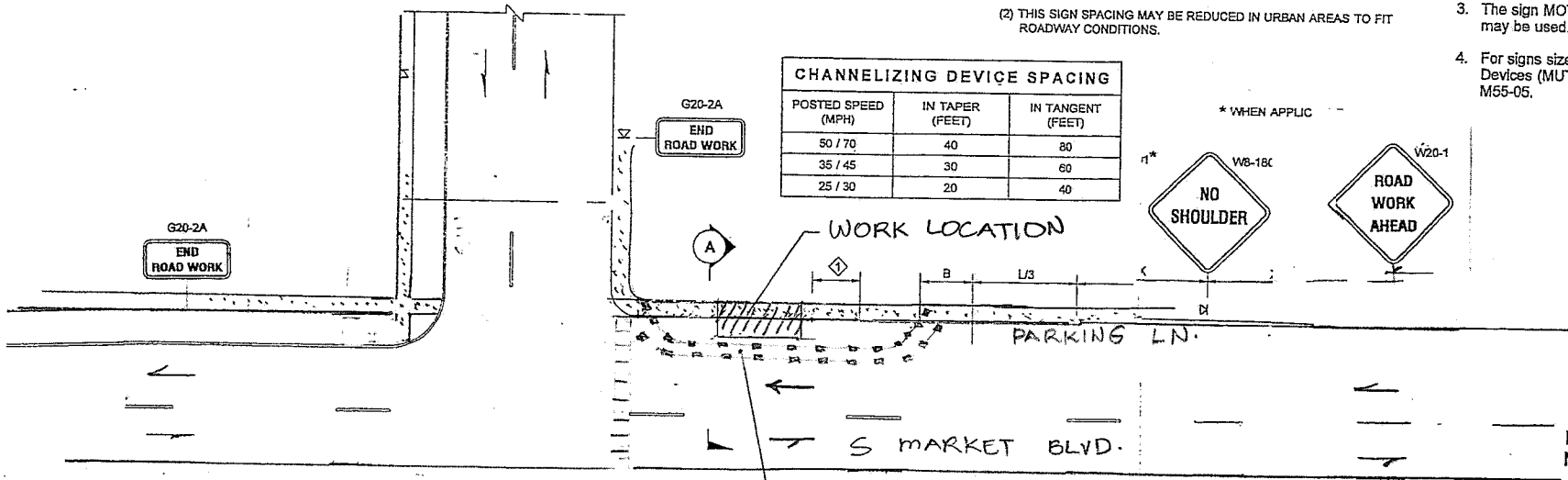
NOTES

1. A Protective Vehicle is recommended regardless if a Truck Mounted Attenuator (TMA) is available; a work vehicle may be used. When no TMA is used, the Protective Vehicle shall be strategically located to shield workers, with no specific Roll-Ahead distance.
2. For long term projects conflicting pavement markings that are no longer applicable shall be removed. Temporary markings shall be used as necessary and signs shall be post mounted.
3. The sign MOTORCYCLES USE EXTREME CAUTION may be used.
4. For signs size refer to Manual on Uniform Traffic Control Devices (MUTCD) and WSDOT Sign Fabrication Manual M55-05.

(1) ALL SIGN SPACING MAY BE ADJUSTED TO ACCOMMODATE AT-GRADE INTERSECTIONS AND DRIVEWAYS.

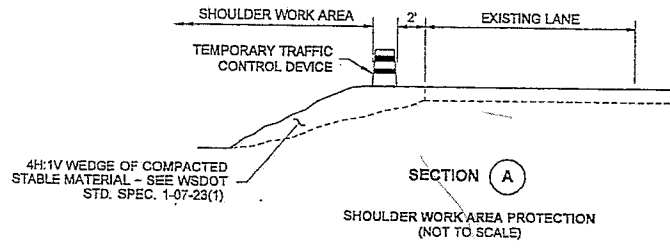
(2) THIS SIGN SPACING MAY BE REDUCED IN URBAN AREAS TO FIT ROADWAY CONDITIONS.

CHANNELIZING DEVICE SPACING		
POSTED SPEED (MPH)	IN TAPER (FEET)	IN TANGENT (FEET)
50 / 70	40	80
35 / 45	30	60
25 / 30	20	40



FOR LOCAL AGENCY USE ONLY
NOT FOR USE ON STATE ROUTES

TCP TO ACCESS MH # 17 AND MH # 11



LEGEND

- ◇ SIGN LOCATION
- CHANNELIZING DEVICES
- ◇ PROTECTIVE VEHICLE - RECOMMENDED



INTERSECTION
~ SHOULDER WORK
STANDARD PLAN K-36.20-01

SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION

Ken L. Smith 02-15-07

STATE DESIGN ENGINEER DATE

Washington State Department of Transportation



TCP #1

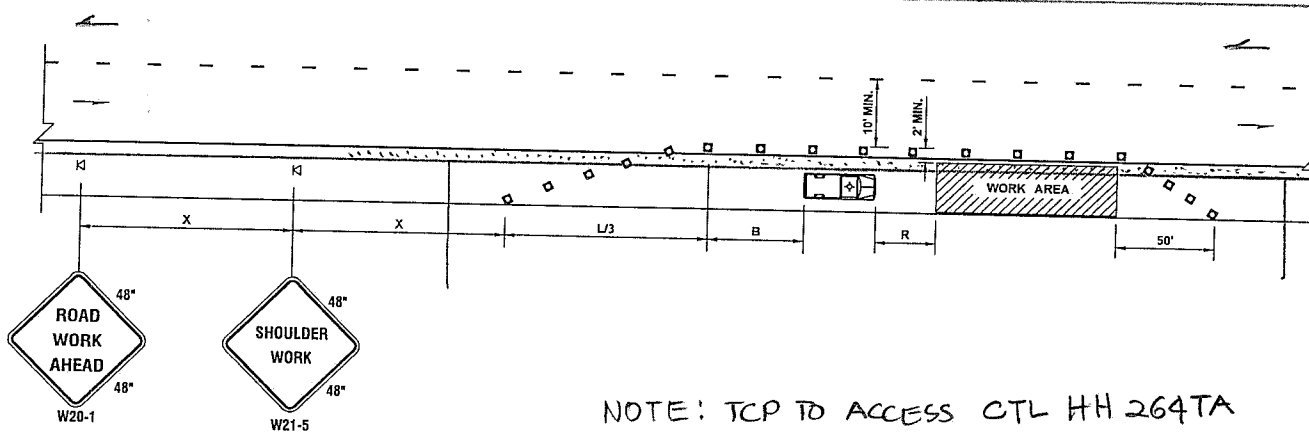
SIGN SPACING = X (1)		
RURAL ROADS & URBAN ARTERIALS	35 / 40 MPH	350' ±
RURAL ROADS, URBAN ARTERIALS, RESIDENTIAL & BUSINESS DISTRICTS	25 / 30 MPH	200' ± (2)
URBAN STREETS	25 MPH OR LESS	100' ± (2)

(1) ALL SPACING MAY BE ADJUSTED TO ACCOMMODATE INTERSECTIONS AND DRIVEWAYS.
 (2) THIS SPACING MAY BE REDUCED IN URBAN AREAS TO FIT ROADWAY CONDITIONS.

MINIMUM SHOULDER TAPER LENGTH = L/3 (feet)										
SHOULDER WIDTH (feet)	Posted Speed (mph)									
	25	30	35	40	45	50	55	60	65	70
8'	40	40	60	90	-	-	-	-	-	-
10'	40	60	90	90	-	-	-	-	-	-

USE A 3 DEVICES TAPER FOR SHOULDERS LESS THEN 8'

BUFFER DATA										
LONGITUDINAL BUFFER SPACE = B										
SPEED (MPH)	25	30	35	40	45	50	55	60	65	70
LENGTH (feet)	155	200	250	305	360	425	495	570	645	730
TRANSPORTABLE ATTENUATOR ROLL AHEAD DISTANCE = R										
HOST VEHICLE WEIGHT 9,900 TO 22,000 lbs.					HOST VEHICLE WEIGHT > 22,000 lbs.					
< 45 MPH	45-55 MPH	> 55 MPH			< 45 MPH	45-55 MPH	> 55 MPH			
100'	123'	172'			74'	100'	150'			
PROTECTIVE VEHICLE (WORK VEHICLE) = R										
NO SPECIFIED DISTANCE REQUIRED										



CHANNELIZATION DEVICE SPACING (feet)		
MPH	TAPER	TANGENT
35/40	30	60
25/30	20	40

LEGEND	
K	TEMPORARY SIGN LOCATION
□	CHANNELIZING DEVICES
☐	PROTECTIVE VEHICLE

**SHOULDER CLOSURE - LOW SPEED
(40 MPH OR LESS)**

NOT TO SCALE

NOTES

1. DEVICE SPACING FOR THE DOWNSTREAM TAPER SHALL BE 20' (FT).
2. ALL SIGNS ARE BLACK ON ORANGE.

FILE NAME	S:\Design R P& S\4-Standards\2-Plan Sheet Library\01-Published PSL(TC) Work Zone Traffic Control(TC-3) Shoulder Closure - Low Speed (40 MPH or Less)\TC-5.dgn	REGION NO.	STATE	FED.AID PROJ.NO.	Washington State Department of Transportation	TRAFFIC CONTROL PLAN
TIME	2:59:41 PM	WASH				
DATE	1/2/2018	JOB NUMBER		LOCATION NO.		
PLOTTED BY	Jiddell	CONTRACT NO.				
DESIGNED BY						
ENTERED BY						
CHECKED BY						
PROJ. ENGR.						
REGIONAL ADM.						
REVISION		DATE	BY	P.E. STAMP BOX	DATE	

TCP #2

Permit Application

Submit this form and any required attachments to:

**City of Chehalis
Community Development Department
1321 S. MARKET BLVD.
CHEHALIS WA 98532
(360) 345-2229**

APPLICANT FILL OUT AND SIGN UPPER SECTION:

JOB ADDRESS: 2690 NE Kresky Ave to 2614 NE Kresky Ave
Chehalis WA 98532

APPLICANT:
NAME: ToledoTel
ADDRESS: 183 Plomandan Rd
CITY/ST/ZIP: Toledo WA 98591
PHONE#: 360 864-4552
EMAIL: _____

PROPERTY OWNER (Same as Applicant? Yes No)
NAME: Lewis Co Community Health
ADDRESS: 2690 NE Kresky Ave
CITY/ST/ZIP: Chehalis WA 98532
PHONE#: _____
EMAIL: _____

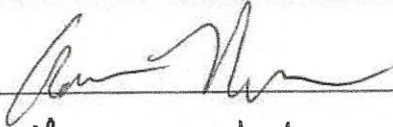
CONTACT PERSON (Same as Applicant? Yes No)
COMPANY NAME: ToledoTel
NAME: Aaron Nelson
ADDRESS: 183 Plomandan Rd
CITY/STATE/ZIP: Toledo WA 98591
PHONE # 360 864-4552
EMAIL: Aaron@toledotel.net

CONTRACTOR (Same as Property Owner? Yes No)
COMPANY: Toledotel
CONTRACTOR REGISTRATION # TOLEDTC0041
ADDRESS: 183 Plomandan Rd
CITY/STATE/ZIP: Toledo WA 98591
PHONE # 360 864-4552
EMAIL: Aaron@toledotel.net

DETAILED PROJECT DESCRIPTION:
Run Aerial Fiber between Valley View's Admin buildings,
from 2690 NE Kresky Ave to 2614 NE Kresky Ave Chehalis WA

PROJECT VALUE: \$5,000

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: 	Date: <u>5/20/2020</u>
Name (print): <u>Aaron Nelson</u>	Telephone #: <u>360 864 4552</u>

OFFICE USE ONLY:
Date Received: 5-22-2020 By: TB Date Reviewed: _____ By: _____
Parcel #: _____ Zoning: _____ Flood Zone: _____
Permit #: RWC-20-0024

Right of Way Use Attachment

\$50 fee for Short Term use/Temporary use

\$100 fee for Annual Permits

Submit to: **Community Development Department**
 1321 S. Market Blvd.
 Chehalis, WA 98532

Type of Permit:

Right-of Way Disturbance

Short Term / Temporary

Long Term / Annual

Neighborhood Event/Parade

Other

Part A:

Number of Days Requested: 1 (90 day maximum for Disturbance and Short Term permits)

Start Date: 5-26-20 Start Time: 9:00 Hours of Use: 9 a.m. to 4 p.m.

Part B:

1. Will the work involve occupancy of any street or traveled way, result in interference to any traffic or pedestrian flow, require interruption or re-routing of any vehicular or pedestrian traffic, or have any other influence on any traffic? (circle one) **NO** **YES** (If YES, a traffic control plan is required and must be submitted for approval. The traffic control plan must be in compliance with the Federal Highway Administration Manual on Uniform Traffic Control Devices and any other provisions designated by Public Works Standards.)

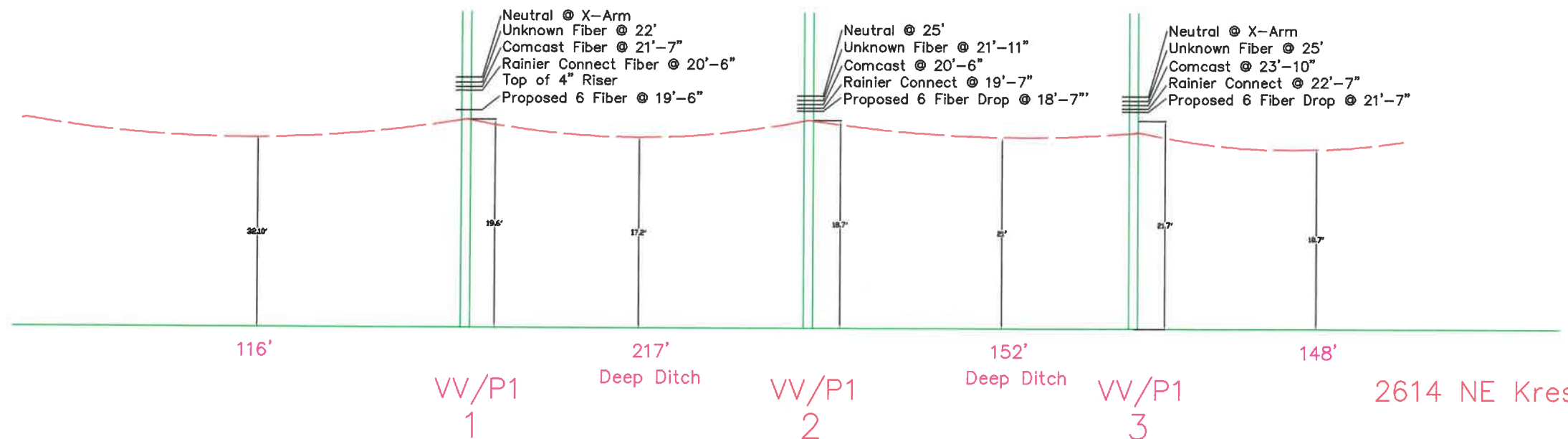
2. Will the work involve any disturbance to the surface, subsurface, or super-surface (bridges) of any city street right-of-way? (circle one) **NO** **YES** (If YES, a traffic control plan is required and must be submitted for approval. The permit must be obtained by a Washington State licensed and bonded contractor. The traffic control plan must be in compliance with the Federal Highway Administration Manual on Uniform Traffic Control Devices and any other provisions designated by Public Works Standards.)

The applicant/contractor hereby agrees to perform the described work with due regard for the rights, interests, and conveniences of the public. The applicant further agrees to perform the work in compliance with all City of Chehalis ordinances/standards, state and federal regulations, and with any conditions of approval listed on the permit document.

"CALL BEFORE YOU DIG" 1-800-424-5555

****State law requires 48 hour advance notice to all utilities prior to any excavation work****

1. The petitioner, designated herein as the "grantee", their successors and assigns, will have the right and authority to enter upon the right-of-way of the city street, alley, public place or structure as indicated on the front of this form, for the purpose of such activity as applied for and approved by the Public Works Department. All provisions, conditions, regulations and requirements herein contained will be binding upon the successors and assigns of the grantee. The issuance of this permit does not diminish or negate the grantee's responsibility to comply with any other regulations, standards, licenses or obligations not covered under this permit.
2. A *Right-of-Way Disturbance Permit* is for activities that will alter the appearance of or disturb the surface, super-surface or sub-surface of a right-of-way on a temporary or permanent basis.
3. A *Short-term and Temporary Permit* is for activities that involve short-term commitments that do not physically disturb or alter the right-of-way. Uses include but are not limited to: festivals, displays, concerts and public or private gatherings. See Municipal Code 12.56.060.



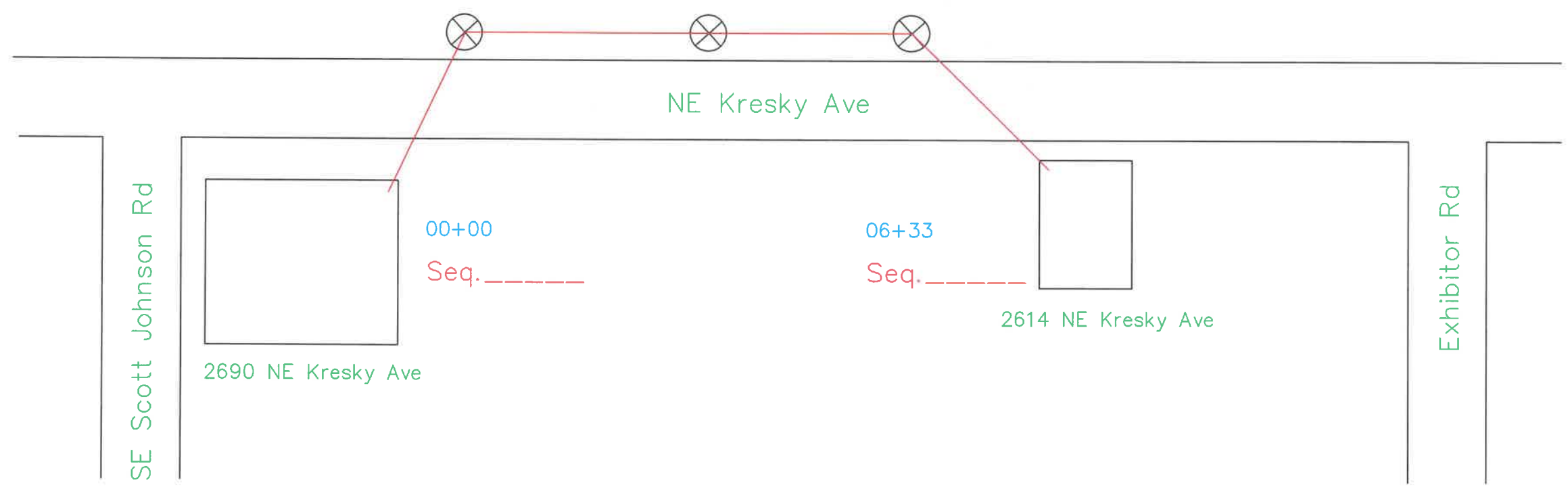
2690 NE Kresky Ave

2614 NE Kresky Ave

Seq. _____
 VV/P1
 01+16

Seq. _____
 VV/P2
 03+33

Seq. _____
 VV/P3
 04+85



ToledoTel

Approved by	Date Approved		
Engineered By	5/01/2020		
Inspected by	JS		
	360-864-4552		
Exchange	Township	Range	Section
TOLEDO	14N	2W	17
Project Title			
Valley View Fiber to Admin Bldg			
Project No.		Sheet	
20VVFO-NR		1 of 1	



Permit Application

Submit this form and any required attachments to:

City of Chehalis
 Community Development Department
 1321 S. MARKET BLVD.
 CHEHALIS WA 98532
 (360) 345-2229

APPLICANT FILL OUT AND SIGN UPPER SECTION:

JOB ADDRESS: 486 Market Blvd Chehalis, WA 98532

APPLICANT:

NAME: David Stuckle
 ADDRESS: 23210 57 Ave W #596
 CITY/ST/ZIP: Mountlake Terrace, WA 98043
 PHONE#: 425-908-0387
 EMAIL: david@premierwestconst.com

PROPERTY OWNER (Same as Applicant? Yes No)

NAME: Market Boulevard LLC
 ADDRESS: 444 SE Carlesta Ave
 CITY/ST/ZIP: Chehalis, WA 98532
 PHONE#: 360-739-5250
 EMAIL: michael.r.mccowan@gmail.com

CONTACT PERSON (Same as Applicant? Yes No)

COMPANY NAME: _____
 NAME _____
 ADDRESS: _____
 CITY/STATE/ZIP _____
 PHONE # _____
 EMAIL: _____

CONTRACTOR (Same as Property Owner? Yes No)

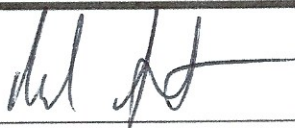
COMPANY: Premier West Construction
 CONTRACTOR REGISTRATION # PREMIWC822DL
 ADDRESS: 23210 57 Ave W #596
 CITY/STATE/ZIP Mountlake Terrace, WA 98043
 PHONE # 425-908-0387
 EMAIL: david@premierwestconst.com

DETAILED PROJECT DESCRIPTION:

Installation of a new 4" underground fire service. Service to be hot tapped off existing 8" cast iron main within NE Boistfort St. 4" ductile iron service to run straight into the north wall of the building.

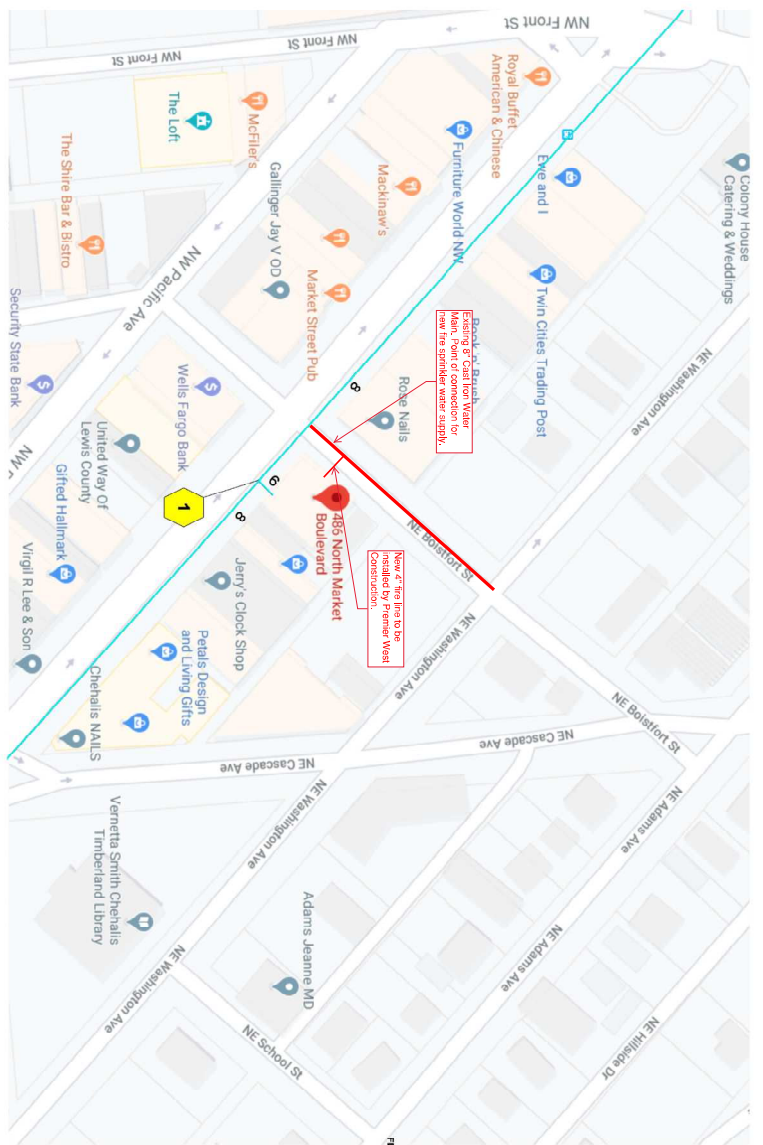
PROJECT VALUE: 28,500

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

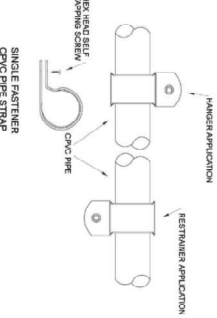
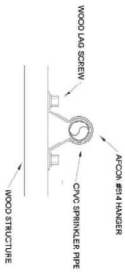
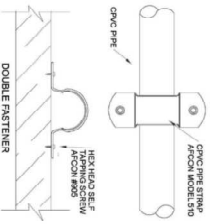
Signature: 	Date: <u>5/20/2020</u>
Name (print): <u>David Stuckle</u>	Telephone #: <u>425-478-6171</u>

OFFICE USE ONLY:

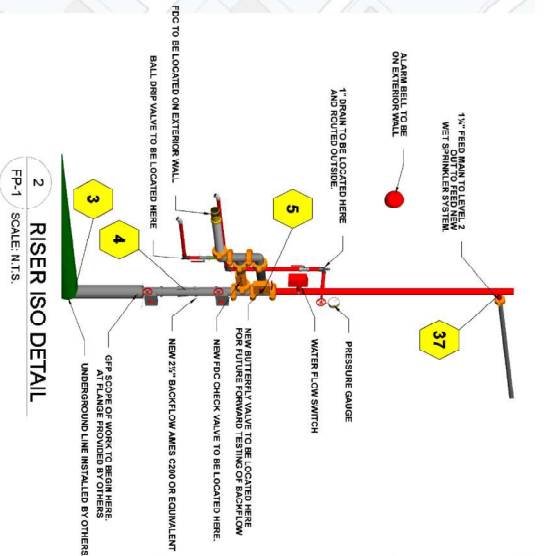
Date Received: 5-22-2020 By: TB Date Reviewed: _____ By: _____
 Parcel #: 004588000000 Zoning: CBD Flood Zone: NO
 Permit #: RWC-20-025 and FS-20-008



1 SITE PLAN - FOR HYDRAULIC REFERENCE ONLY
 FP-1 SCALE: N.T.S. ALL UNDERGROUND SITE AND UTILITY WORK TO BE EXISTING OR BY OTHERS



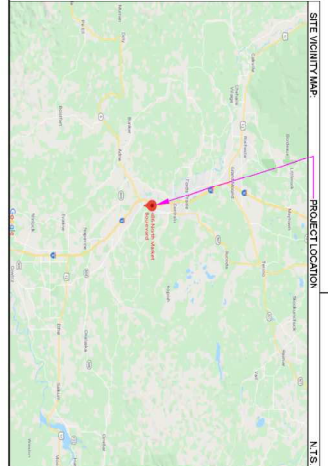
2 RISER ISO DETAIL
FP-1 SCALE: N.T.S.



SCOPE OF WORK
 • GLACIER FIRE PROTECTION, LLC SCOPE OF WORK
 • INSTALL NEW AIA/NSA/ASQ/ADW/ET SYSTEM IN EXISTING BUILDING
 • INSTALL 1\"/>

GENERAL NOTES
 • ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC AND NFPA 13.
 • ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 • ALL WORK SHALL BE COMPLETED BY THE END OF THE PROJECT.
 • ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 • ALL WORK SHALL BE COMPLETED BY THE END OF THE PROJECT.

DESIGN CRITERIA
 • THE RISK OF FIRE SHALL BE CONSIDERED IN THE DESIGN OF THE RISER SYSTEM.
 • THE RISER SYSTEM SHALL BE DESIGNED TO PROTECT THE BUILDING FROM FIRE.
 • THE RISER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 • ALL WORK SHALL BE COMPLETED BY THE END OF THE PROJECT.



GENERAL NOTES TO BE USED FOR THE DESIGN SHALL BE: NFPA 2016	FLOW TEST SUMMARY
GENERAL NOTES TO BE USED FOR THE DESIGN SHALL BE: NFPA 2016	TOP PSI SAFETY ADDED
DATE: 03/11/20	SYNOPSIS: 85PSI
SCALE: VARIOUS	RESIDUAL PSI: 12 PSI
DRAWN BY: Michael Newell	DATE OF TEST: 2003/01-1000
JOB NO: 80014	BY WHO: CITY OF BREWSTER
CONTRACT WITH: Market Boulevard LLC	
1648 S. Market Blvd	
Chehalis, WA 98532	

SYMBOL	DESCRIPTION
(H)	HYDRAULIC REFERENCE POINT
(F)	FL OF PIPE ABOVE FINISH FLOOR
(B)	FL OF PIPE BELOW TOP OF STEEL
(T)	FL OF PIPE BELOW TOP OF BEAM
(S)	FL OF PIPE BELOW TOP OF SLAB
(D)	LOCATING HEIGHT
(X)	DENOTES HANGER LOCATION

CERTIFICATE OF COMPETENCY
 I, MICHAEL NEWELL, LICENSED PROFESSIONAL ENGINEER, STATE OF WASHINGTON, LICENSE NO. 100000000000, HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS DRAWING AND I AM NOT PROVIDING ANY PART THEREOF WITHOUT WRITTEN CONSENT OF GLACIER FIRE PROTECTION, L.L.C.
 Signature: Michael Newell
 Title: Licensed Professional Engineer
 State: WA
 License No.: 100000000000

GLACIER FIRE PROTECTION, LLC
 10000 164th Avenue, Everett, WA 98201
 LIC # GLA01934M3

6/2 Page 12 of 13

CALL 253.501.7898
 WWW.GLACIERFIREPROTECTION.COM

SHEET: FP-1
 PROJECT: Improvement Block Chehalis
 486 Market Blvd
 Chehalis, WA 98532
 DRAWN BY: Michael Newell
 PROJECT NO: 80014
 DATE: 03/11/20

Permit Application

Submit this form and any required attachments to:

City of Chehalis
Community Development Department
1321 S. MARKET BLVD.
CHEHALIS WA 98532
(360) 345-2229

APPLICANT FILL OUT AND SIGN UPPER SECTION:

JOB ADDRESS: 124 Hosanna Ln, Chehalis, WA 98532

APPLICANT:

NAME: Lyndsay Walker
ADDRESS: 1231 Summit Lake Shore Rd NW
CITY/ST/ZIP: Olympia, WA 98502
PHONE#: 360-219-3325
EMAIL: lyndsaywalker@outlook.com

PROPERTY OWNER (Same as Applicant? Yes No)

NAME: _____
ADDRESS: _____
CITY/ST/ZIP: _____
PHONE#: _____
EMAIL: _____

CONTACT PERSON (Same as Applicant? Yes No)

COMPANY NAME: _____
NAME: _____
ADDRESS: _____
CITY/STATE/ZIP: _____
PHONE #: _____
EMAIL: _____

CONTRACTOR (Same as Property Owner? Yes No)

COMPANY: Reality Homes Inc
CONTRACTOR REGISTRATION # RealEHI 984511
ADDRESS: 2720 South J St.
CITY/STATE/ZIP Tacoma, WA 98409
PHONE # 253-926-6822
EMAIL: derek-aves@realityhomesinc.com

DETAILED PROJECT DESCRIPTION:

New construction condo - 1 story w/ attached garage

PROJECT VALUE: \$ 327,264 total value \$163,632 per condo

Verbal comments made during discovery are not binding. Only the plan(s) submitted will be reviewed for compliance with applicable codes. By signing below, I grant permission for City of Chehalis employees to enter and remain on the property for the purpose of review and approval of this proposal and to conduct inspections related to this proposal.

Signature: 	Date: <u>5/22/20</u>
Name (print): <u>Lyndsay L. Walker</u>	Telephone #: <u>360-219-3325</u>

OFFICE USE ONLY:

Date Received 6-1-2020 By DK Date Reviewed: _____ By _____
Parcel # 017466001004 Zoning RUGA Flood Zone: No
Permit # UGA-BU-20-0028

Development Permit Attachment

City of Chehalis
Community Development Department
 1321 S MARKET BLVD
 CHEHALIS, WA 98532
 (360) 345-2229

Site Address: 124 Hosanna Ln, Chehalis, WA Permit # UGA-BU-20-0028

- | | | | |
|----------------------------------------------|----------------------------------------------|--------------------------------------|-------------------------------------------------|
| <input checked="" type="checkbox"/> Building | <input checked="" type="checkbox"/> Plumbing | <input type="checkbox"/> Mechanical | <input type="checkbox"/> Manufactured Structure |
| <input type="checkbox"/> Sign | <input type="checkbox"/> Occupancy | <input type="checkbox"/> Demolition | <input type="checkbox"/> Administrative |
| <input type="checkbox"/> Flood Plain | <input type="checkbox"/> Tenant Improvement | <input type="checkbox"/> Fire Permit | <input type="checkbox"/> Other |

PROPOSED USE OF BLDG: Residential/Condo TYPE OF BLDG HEAT: electric furn / h/p
 TOTAL SQ FT OF BLDG: 3456 Total 1728 per condo PROPOSED HEIGHT: 34' 1 7/8"
 # OF DWELLING UNITS: 2 AREA OF ADDITION: _____
 # OF PARKING SPACES: 4 Total 2 per condo
 VALUE/CONST COST OF THE CONSTRUCTION PORTION \$ 327,264 Total \$163,632 per condo

PLEASE NOTE

For new construction, additions and substantial remodel, alterations, demolitions;

- ✓ Application cover sheet and attachment forms
- ✓ Two complete sets of plans of any size and one set of reproducible plans, including civil plans will be required. One set will be returned as the approved construction plan.
- ✓ Site plan drawn to scale depicting entire property, what's existing, what's proposed
- ✓ Fees

For an application to be deemed complete, all fees must be paid. Contact Community Development to determine what fees will be owed at the time of submittal.

TO THE APPLICANT:

WAC 296-200A-110 Before issuing a building permit, a city, county or town must verify the registration of the general or specialty contractor applying for the permit.

RCW 18.27.010 (1)(a) "Contractor" includes any person, firm, corporation, or other entity who or which, in the pursuit of an independent business undertakes to, or offers to undertake, or submits a bid to, construct, alter, repair, add to, subtract from, improve, develop, move, wreck, or demolish any building, highway, road, railroad, excavation or other structure, project, development, or improvement attached to real estate or to do any part thereof including the installation of carpeting or other floor covering, the erection of scaffolding or other structures or works in connection therewith, the installation or repair of roofing or siding, performing tree removal services, or cabinet or similar installation; or, who, to do similar work upon his or her own property, employs members of more than one trade upon a single job or project or under a single building permit except as otherwise provided in this chapter. "Contractor" also includes a consultant acting as a general contractor.

"Contractor" also includes any person, firm, corporation, or other entity covered by this subsection (1), whether or not registered as required under this chapter or who are otherwise required to be registered or licensed by law, who offer to sell their property without occupying or using the structures, projects, developments, or improvements for more than one year from the date the structure, project, development, or improvement was substantially completed or abandoned. A person, firm, corporation, or other entity is not a contractor under this subsection (1)(c) if the person, firm, corporation, or other entity contracts with a registered general contractor and does not superintend the work.

CMC: 5.04.020 Business License required. No person shall engage in business in the city without first obtaining a license for such business issued by the city as provided herein. (This includes contractors.)

Utility Service Attachment

City of Chehalis

Public Works Department

2007 NE KRESKY AVE; CHEHALIS, WA 98532

Site Address: TBD Hosanna Ln

(360) 748-0238

Permit # EN-20-007

SERVICE REQUESTED

<input checked="" type="checkbox"/> INSIDE CITY	<input checked="" type="checkbox"/> OUTSIDE CITY	<input checked="" type="checkbox"/> SINGLE UNIT RESIDENTIAL	<input type="checkbox"/> DUPLEX
<input type="checkbox"/> SEWER	<input type="checkbox"/> REPAIR OR REPLACE EXISTING	<input checked="" type="checkbox"/> MULTIPLE - # OF UNITS: <u>2</u>	<input type="checkbox"/> COMMERCIAL/INDUSTRIAL
<input type="checkbox"/> WATER (METER SIZE: _____)	<input type="checkbox"/> LATECOMER AGREEMENT: [] YES [] NO	<input type="checkbox"/> METER DOWNSIZE FROM _____ TO _____	<input type="checkbox"/> TEMPORARY CONSTRUCTION
<input type="checkbox"/> STORM (IMPERVIOUS AREA: _____ SQ FT)			<input type="checkbox"/> OTHER _____

CONSUMPTION & DISCHARGE SURVEY

Primary type of business (list type of operations, identify all activities producing wastewater and all activities using water):

Domestic household water

This Facility will use 600 gallons per day of water from Public Water Supply [] Private Well [] Reclaimed Water [] Other: _____

Estimated Number of gallons per day used for the following purposes (attach documentation demonstrating estimated usage):

Non-Commercial Domestic Uses 600 GPD [] Boilers, Cooling or Other Unpolluted Wastewater _____ GPD [] Non Domestic Activities (not from domestic uses of restrooms, showers, kitchens or laundry rooms) describe: _____

Is or will the water be used for any of the following:

- | | | |
|---------------------------------------------------------------------------------------------------------------|------------------------------------------|-----------------------------------------------------------------|
| <input type="checkbox"/> FILLING TANK TRUCKS OR TRAILERS | <input type="checkbox"/> FARM | <input type="checkbox"/> WATER TREATMENT SOFTENER |
| <input type="checkbox"/> NEW WATER MAIN CONSTRUCTION | <input type="checkbox"/> HEAT EXCHANGERS | <input type="checkbox"/> IRRIGATION (Landscape or Agricultural) |
| <input type="checkbox"/> FIRE SERVICES (Sprinkler System, etc.) | <input type="checkbox"/> SOLAR HEATING | <input type="checkbox"/> OTHER: _____ |
| <input type="checkbox"/> LABORATORIES (Biological, Chemical, or Environmental, including Schools or Colleges) | | |
| <input type="checkbox"/> HOSPITAL, MEDICAL, DENTAL, VETERINARY, NURSING HOME OR MORTUARY | | |

Wastewater from this facility goes to the (check all that apply) Sanitary Sewer [] Storm Sewer [] Ground (drain field, etc) [] Waste Haulers [] Open water, rivers, ocean [] Evaporation [] Other: _____

Stormwater from this facility goes to (list): _____

The Stormwater System for this facility [] does does not contain a detention structure.

Chemicals used/stored on premises: [] in drums [] small containers no chemicals stored

Materials, chemicals, products, equipment, or wastes [] are are not stored in outside areas.

This Facility: [] does does not generate dangerous waste. Generator WAD# _____ (if assigned)

[] does does not have an oil-water separator.

[] does does not wash vehicles or equipment on the premises (if so water goes to _____).

[] does does not exceed 3 stories or 33 feet in height above the water main.

I understand and agree to pay all costs fees and charges associated with water, sewer and/or storm sewer construction and connection before water and/or sewer service shall be provided.

I agree to allow the city to temporarily discontinue the service at any time without notice to the customer and will hold the city harmless for any damage caused by interruption, change or failure of the water, sewer and/or storm sewer supply, and for any damage by water or other cause resulting from defective plumbing or appliances on the premises supplied with water installed by the owner or occupant of the premises. I further agree that such failures or interruptions for any reasonable period of time shall not be held to constitute a breach of agreement on the part of the city or in any way relieve the customer from performing the obligations of this or subsequent agreements.

I agree to abide by the city rules and regulations as contained in the city water, sewer and storm water ordinances, and agree to pay for the utility service as determined by the Public Works Department as specified in the city ordinances.

A contract is not entered into between the applicant and the Public Works Department until after a city representative issues the approval and all monies are paid. Approval shall be rescinded if the work has not been completed within six (6) months of the date of approval of this application.

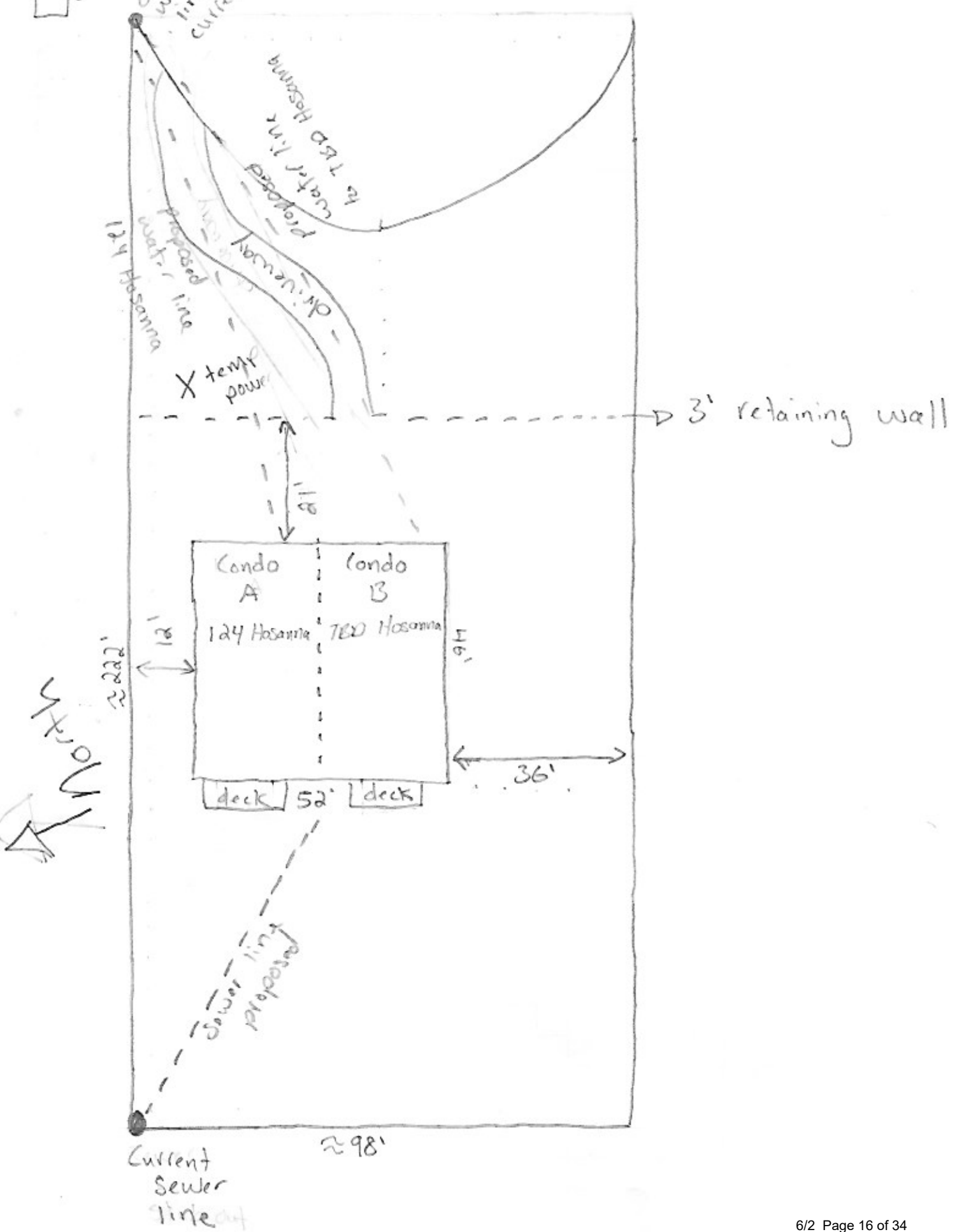
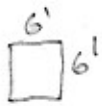
I have personally examined and am familiar with the information submitted in this document and any attachments. I believe the submitted information is true, accurate and complete. I understand the penalty for submitting false information includes the possibility of fines and/or imprisonment.

Signature of Authorized Representative: Lindsay L. Walker Name (print): Lindsay L. Walker Date: 5/22/20 Telephone #: 360-219-3325

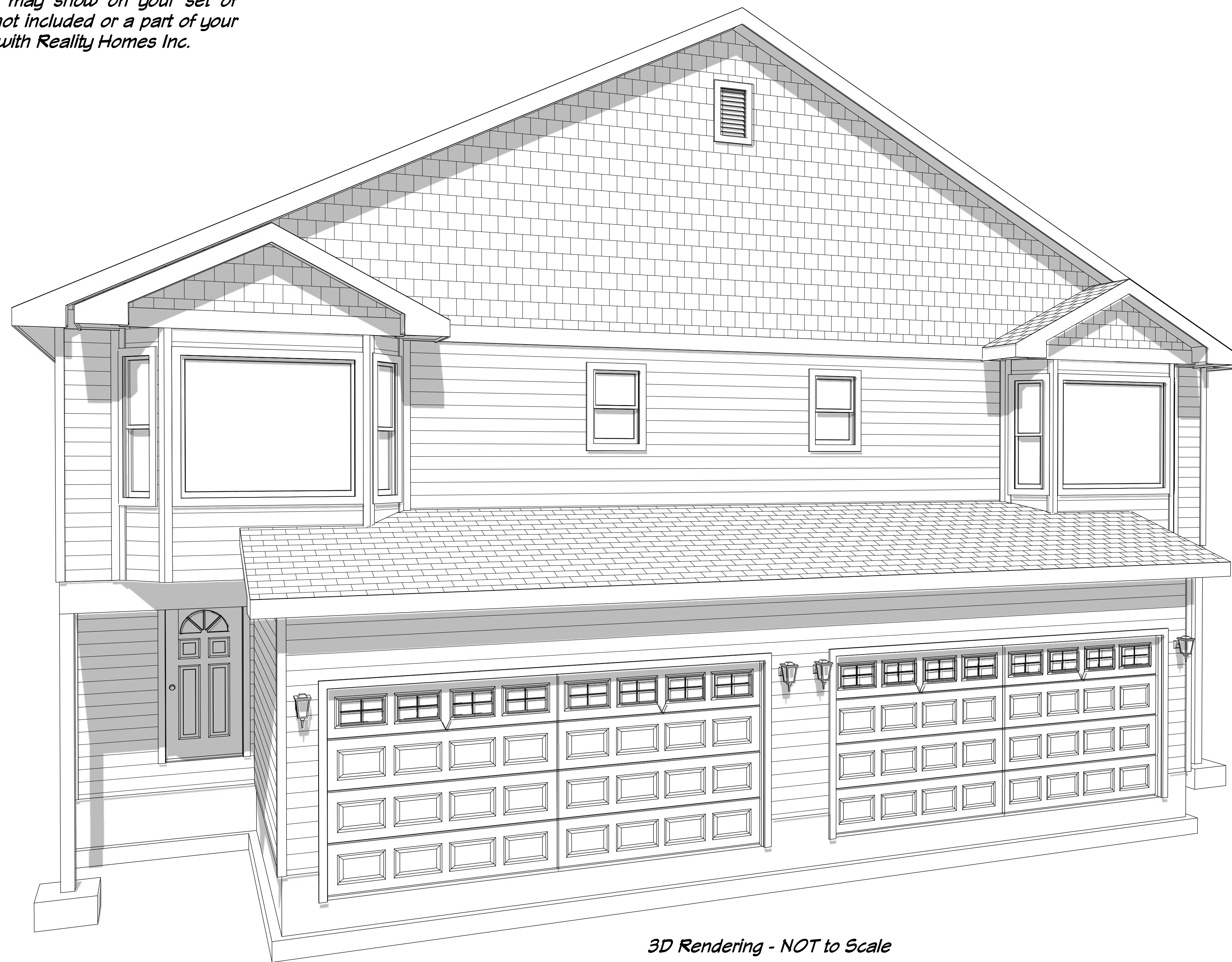
Applications must be signed as follows: Corporations, by a principle executive officer of at least the level of Vice President; partnership by a General Partner; sole proprietorship by the Proprietor, (ref: 40 CFR Part 403.12 (1))

DISCLOSURE: Title 40 of the Code of Federal Regulations Part 403.14 requires information provided in this questionnaire identifying the nature and frequency of discharge to be available to the public without restriction. Requests for confidential treatment of other information shall be governed by procedures specified in 40 CFR Part 2 and applicable State Law. Should a discharge permit be required for your facility, this information may be used to issue the permit. Washington State DOH Cross Connection Control (CCC) Regulations, WAC 246-290-490 and Chapter 10 of the Uniform Plumbing Code identify requirements related to the City's CCC program.

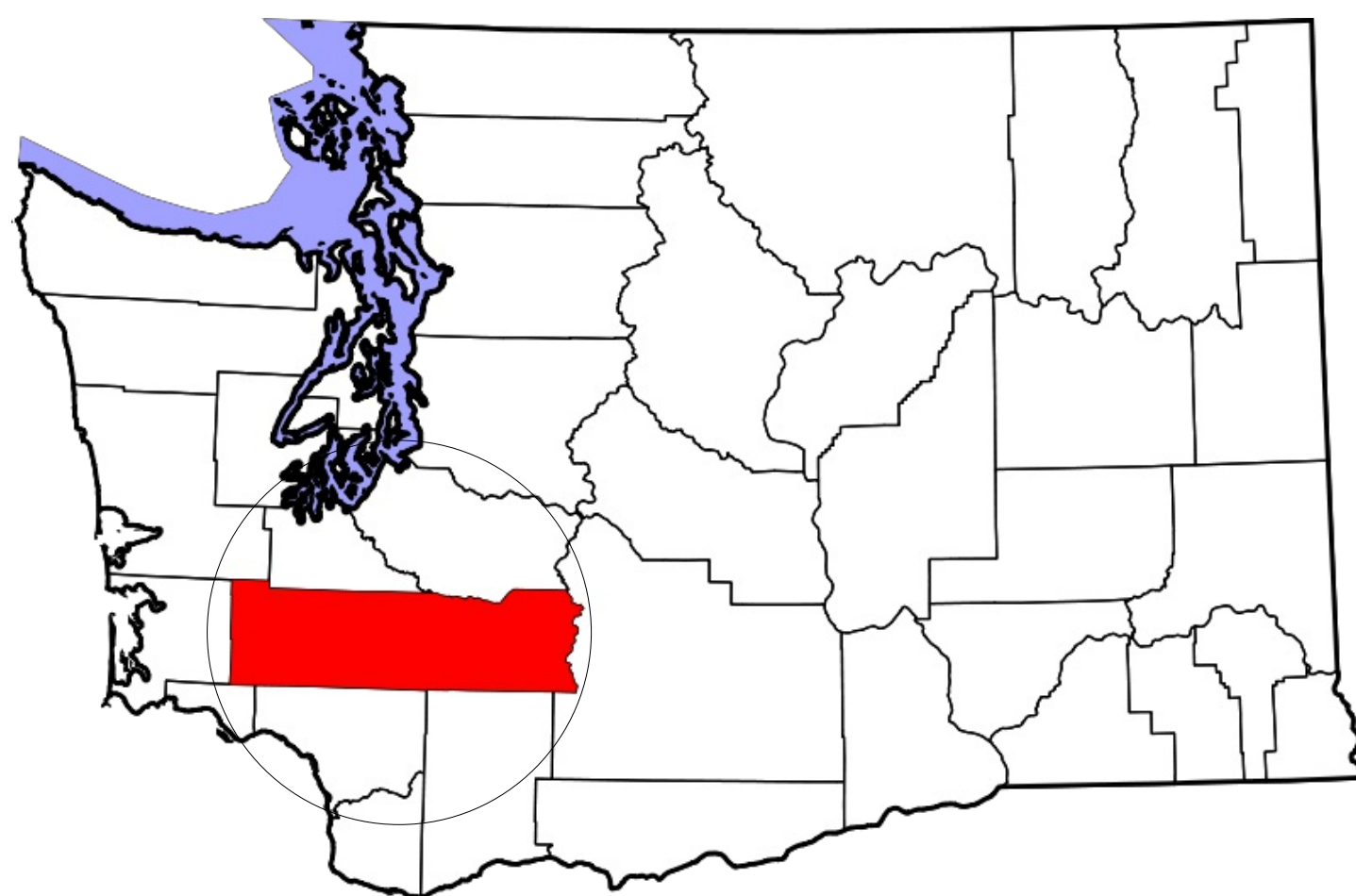
124 Hosanna Ln, Chehalis



NOTE: Some options may show on your set of house plans that are not included or a part of your Construction Contract with Reality Homes Inc.



3D Rendering - NOT to Scale



The Construction Site is Located within Lewis County.

Design Criteria

Snow Load ---- 25 lbs
 Wind Speed -- 110 mph
 Exposure ----- B
 Seismic ----- D

Heating System
 Electric Furnace &
 Electric Heat Pump

Appliance Fuel Source
 Stove Electric
 Dryer Electric
 Water Heater Electric

Square Footage Totals

1st Floor 732 sq ft / Per Unit
 2nd Floor 996 sq ft / Per Unit
 Total Living Space 1728 sq ft / Per Unit
 Garage 379 sq ft / Per Unit
 Front Porch Cover 44 sq ft / Per Unit

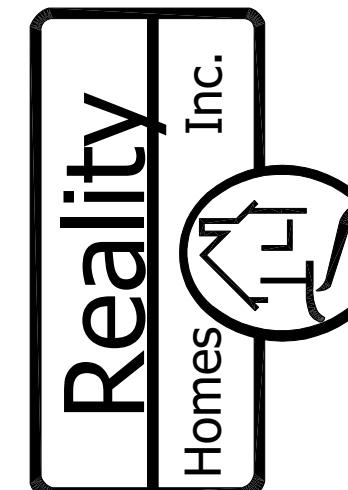
House Designer - Reality Homes, Inc.
 1308 Alexander Ave. E.
 Fife, WA 98424
 253.722.2268
 Engineer of Record - Hodge Engineering
 2615 Jahn Ave. NW
 Gig Harbor, WA 98335
 253.857.7055
 Truss Manufacturer - ITW Building Components
 Group Inc.
 8351 Rovana Circle
 Sacramento, CA 95828
 916.387.0116

List of Codes

2015 International Residential Codes

Sheet Index

Sheet 1 of 10 -	Cover Sheet
Sheet 2 of 10 -	Main Floor Plan
Sheet 3 of 10 -	Second Floor Plan
Sheet 4 of 10 -	Foundation & Floor Framing
Sheet 5 of 10 -	Roofing & Drainage
Sheet 6 of 10 -	Elevations
Sheet 7 of 10 -	Floor Covering & Cross Sections
Sheet 8 of 10 -	Details
Sheet 9 of 10 -	Details
Sheet 10 of 10 -	Notes
Sheet J1 -	Manufacturer Joist Layout
Sheet L1 -	Engineer's Lateral Design Page
Sheet D1 -	Engineer's Detail Page
Sheet N1 -	Engineer's Notes Page



1308 Alexander Ave. E. Fife, WA 98424
 PH - 253.722.2268 FX - 253.423.2070
 Designation: Licensed Professional Engineer
 License Number: 17466001004
 Project Number:

These Plans have been exclusively designed for Reality Homes Inc. and are to be considered an unpublished work, copyright law. This Plan Set may be used only by Lyndsay Walker for the Property located at 127-93 Kenicott Road, Chehalis, WA 98532. For the 17466001004 and this Plan Set may not be altered, copied or otherwise manipulated or distributed without the written permission of Reality Homes Inc. Any violation shall be strictly enforced.

These plans were exclusively designed for
Lyndsay Walker
 127-93 Kenicott Road
 Chehalis, WA 98532
 Parcel # - 17466001004

The Client / Home Owner / General Contractor shall verify all setbacks, dimensions, structural details, building codes, and grading requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract award. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, fixtures, etc., must be identified and corrected prior to construction materials. The builder shall not be held responsible for errors caused due to a lack of coordination by the sub-contractors.

These Plans are diagrammatic in nature and are intended to identify the most significant elements of the building's construction. These Plans are intended to provide adequate information to the Governing Regulatory Agency regarding compliance with Local and International Residential & Building Codes. It shall be understood that non-regulatory items which are not shown on these Plans are to be installed in accordance with the applicable codes and standards. For details refer to the building according to a non-authorized Building Order generated by Reality Homes, Inc. For fixtures and appliances refer to the Building Order. In particular, the Options specified within the Building Order shall be strictly adhered to. If a building element is not shown on the plans but appears within the Building Order, the Building Order shall govern.

In our continuing effort to improve our product, Reality Homes Inc. reserves the right to modify and change floor plans, elevations, and other details without notice. All square foot measurements are approximate.

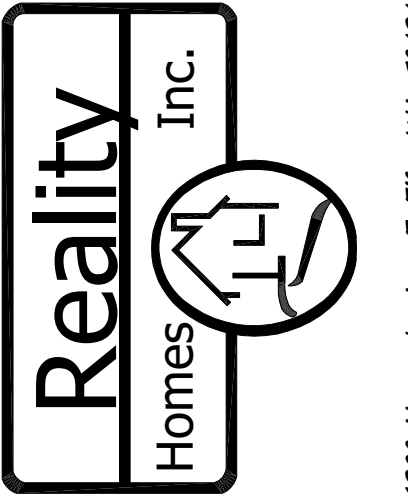
Sheet Description
Cover Sheet
 Plan Name
3155 BayShore

1 of 10

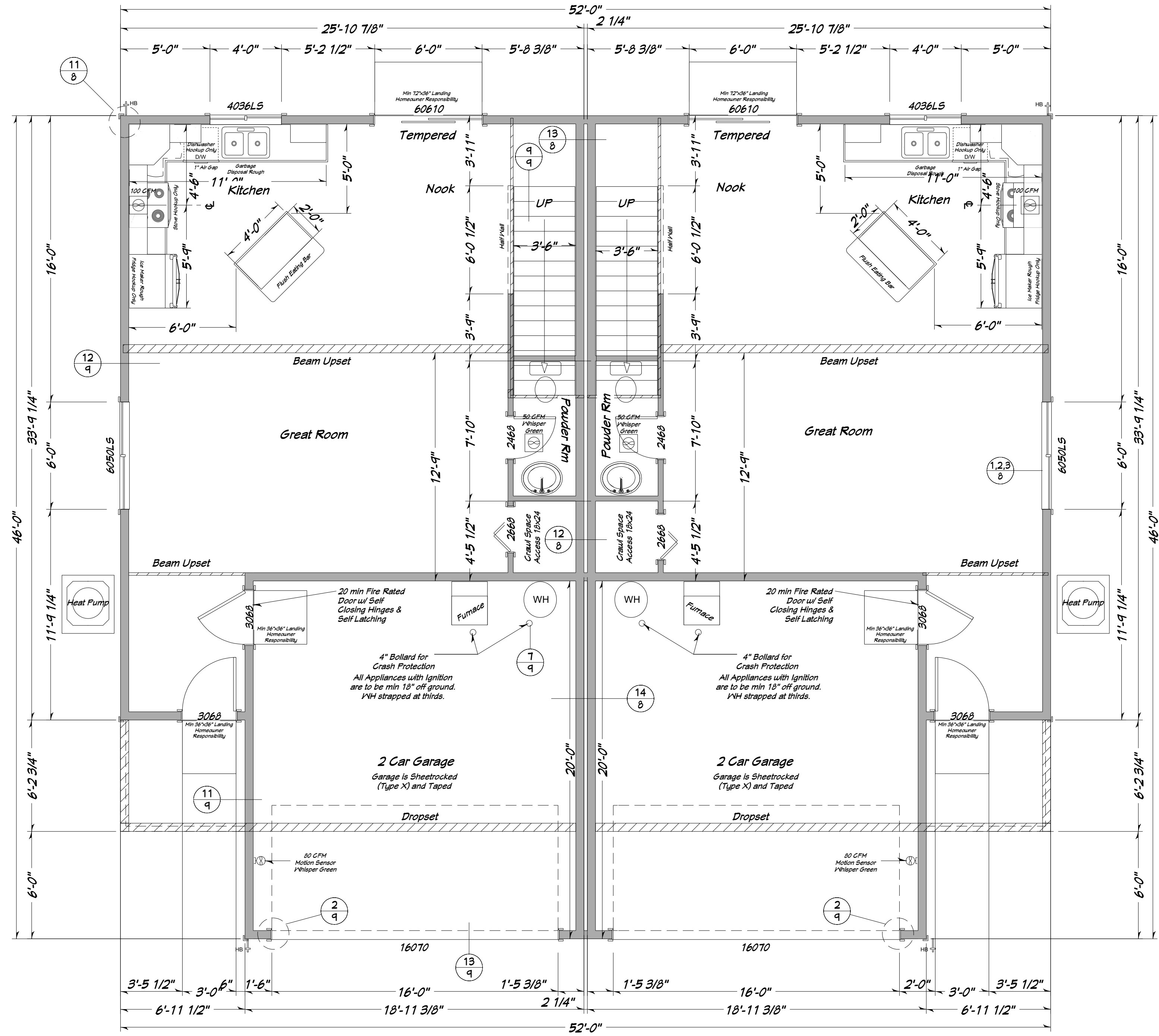
This Set of Plans is licensed for one time use and must be built only by Reality Homes Inc.

OPTION	DESCRIPTION	CREDIT(S)
1a	EFFICIENT BUILDING ENVELOPE 1a: Prescriptive compliance is based on Table R402.1 with the following modifications: Vertical fenestration U=0.28 Floor R-38 Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab or Compliance based on Section R402.1.4: Reduce the Total UA by 5%	0.5
3b	HIGH EFFICIENCY HVAC EQUIPMENT 3b: Air-source heat pump with minimum HSPF of 9.0 To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.	1.0
5a	HIGH EFFICIENCY WATER HEATING 5a: All shower head and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated at 1.0GPM or less.	0.5
5c	HIGH EFFICIENCY WATER HEATING 5c: Electric heat pump water heater with a minimum EF of 2.0 and meeting the standards of NEEA's Northern Climate Specifications for Heat Pump Water Heaters.	1.5

NOTE: Some options may show on your set of house plans that are not included or a part of your Construction Contract with Reality Homes Inc.



1309 Alexander Ave. E. Fife, WA 98124
 PH - 253.722.2269 FX - 253.423.2070
 Designation: Project Number
 Construction Number



Main Floor Plan
 Scale 1/4" = 1'

These Plans have been exclusively designed for Reality Homes Inc. and are to be used only by Lyndsay Walker for the Property located at 127-33 Kenicott Road, Chehalis, WA 98532. No other use, reproduction, or distribution of these Plans without the written permission of Reality Homes Inc. is permitted. Any violation shall be strictly enforced.

These plans were exclusively designed for
Lyndsay Walker
 127-33 Kenicott Road
 Chehalis, WA 98532
 Parcel # - 17466001004

The Client / Home Owner / General Contractor shall verify all setbacks, dimensions, structural details, building codes, and grading requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract award. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, accessories, etc., must be identified and corrected prior to construction materials. The builder shall not be held responsible for errors caused due to a lack of consultation by the sub-contractors.

These Plans are diagrammatic in nature and are intended to identify the most significant elements of the building's construction. These Plans are intended to provide adequate information to the Governing Regulatory Agency regarding compliance with Local and International Residential & Building Codes. It shall be understood that non-regulatory items which are not shown on these Plans, but which are required by the Governing Regulatory Agency, shall be the responsibility of the building contractor. In particular, the Options specified within the Building Order shall be strictly adhered to. If a building element is not shown on the plans but appears within the Building Order, the Building Order shall govern.

In our continuing effort to improve our product, Reality Homes Inc. reserves the right to modify and change floor plans, elevations, and other details at any time without notice. All square foot measurements are approximate and are subject to change in actual production.

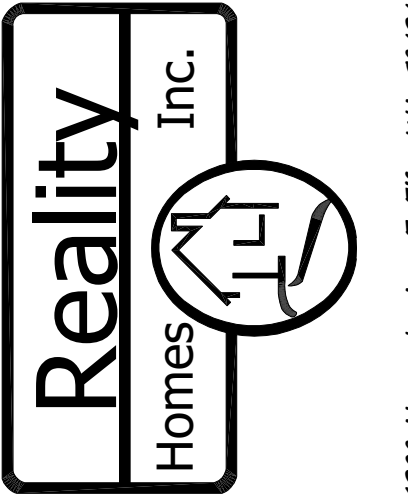
Sheet Description
Main Floor Plan

Plan Name
3155 BayShore

2 of 10

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NOTE: Some options may show on your set of house plans that are not included or a part of your Construction Contract with Reality Homes Inc.



1309 Alexander Ave. E. Fife, WA 98124
 PH - 253.722.2269 FX - 253.423.2070
 Designation: Designer
 Construction Number: 17466001004
 Project Number:

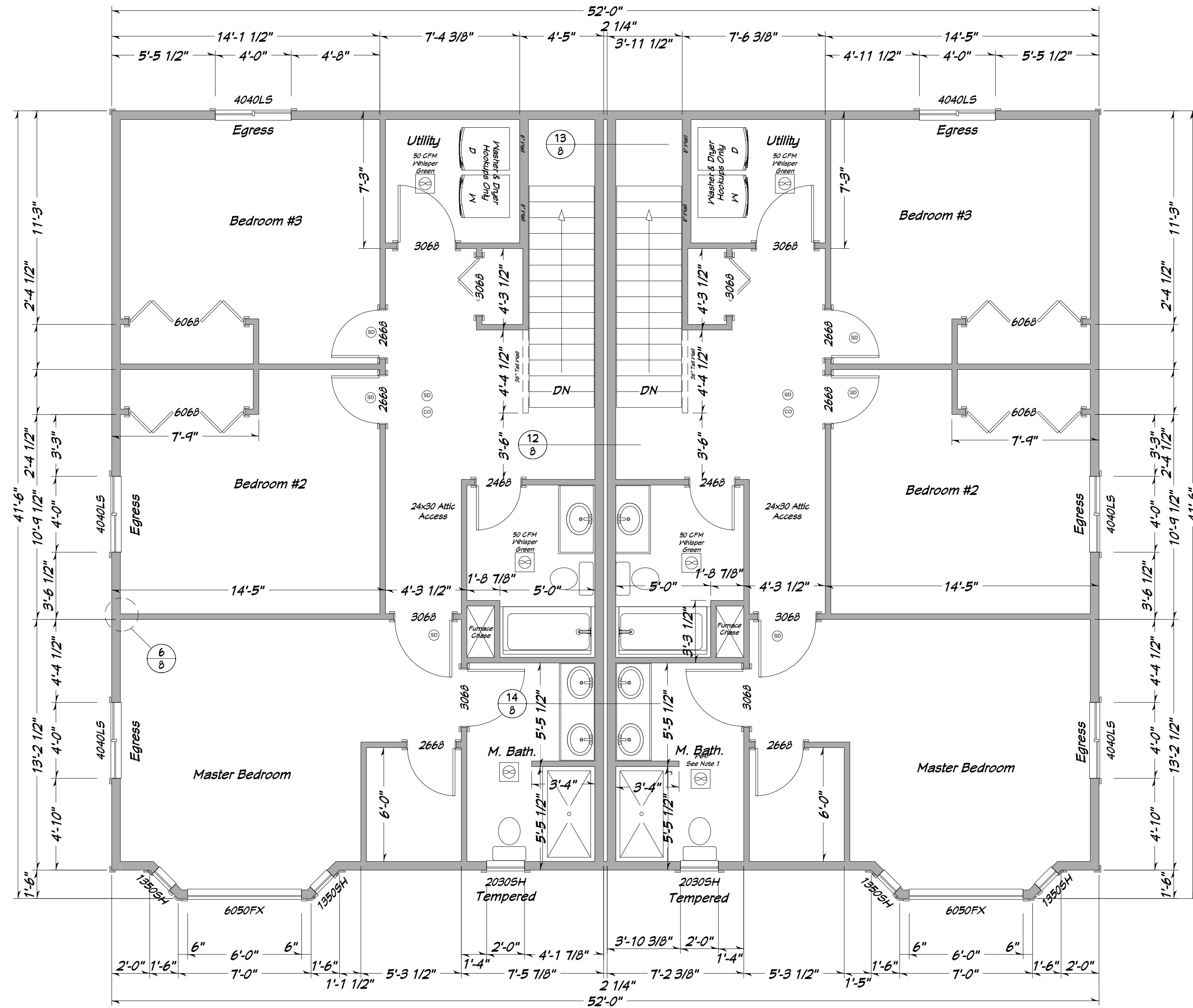
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These plans were exclusively designed for
Lyndsay Walker
 127-33 Kenicott Road
 Chehalis, WA 98532
 Parcel # - 17466001004

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In our continuing effort to improve our product, Reality Homes Inc. reserves the right to modify and change floor plans, subject to change in actual production. All square foot measurements are approximated.



Second Floor Plan
 Scale 1/4" = 1'

Sheet Description

Second Floor Plan

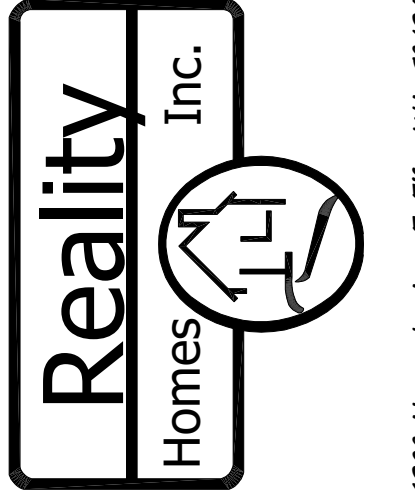
Plan Name

3155 BayShore

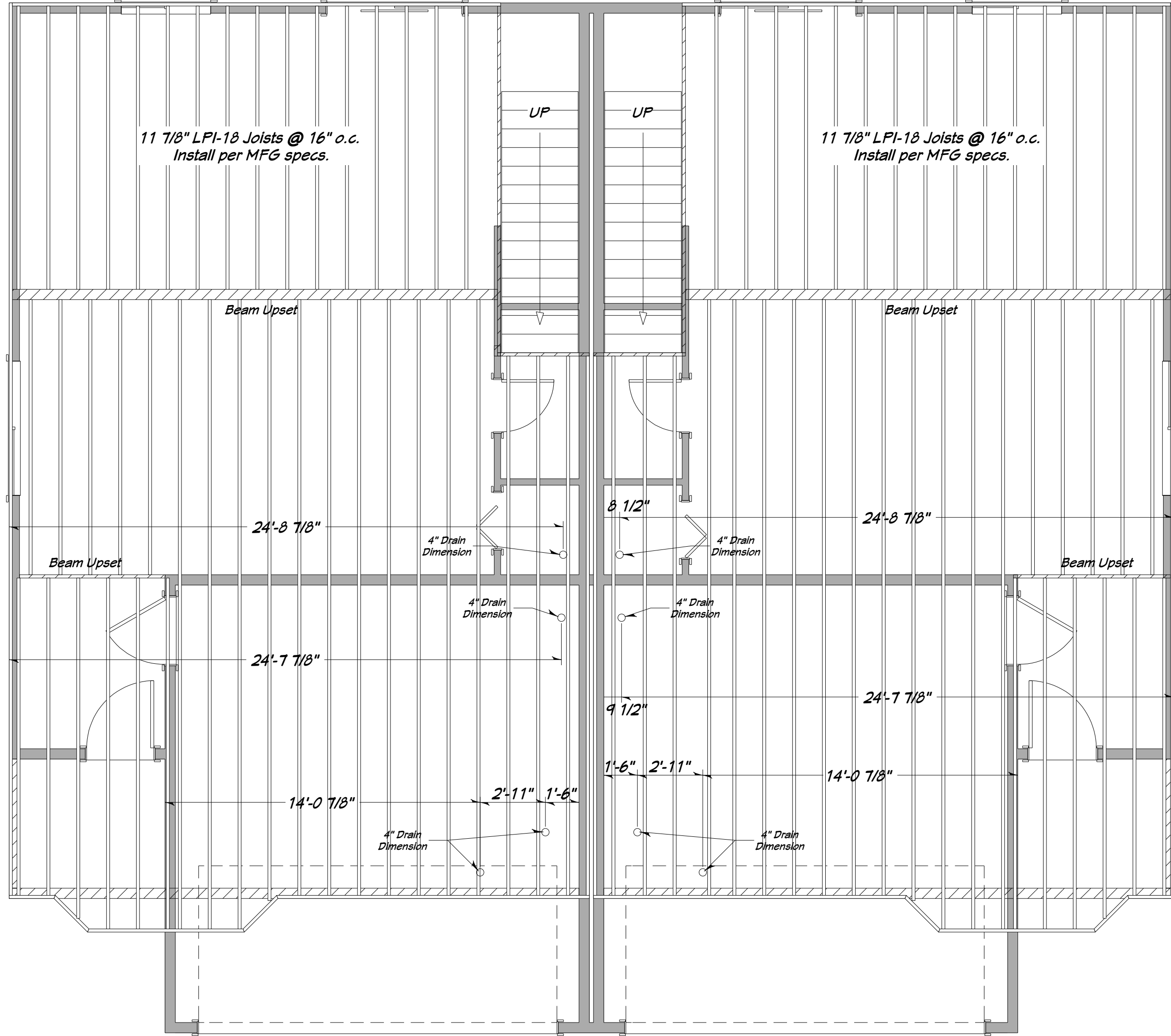
3 of 10

This Set of Plans is licensed for one time use and must be built only by Reality Homes Inc.

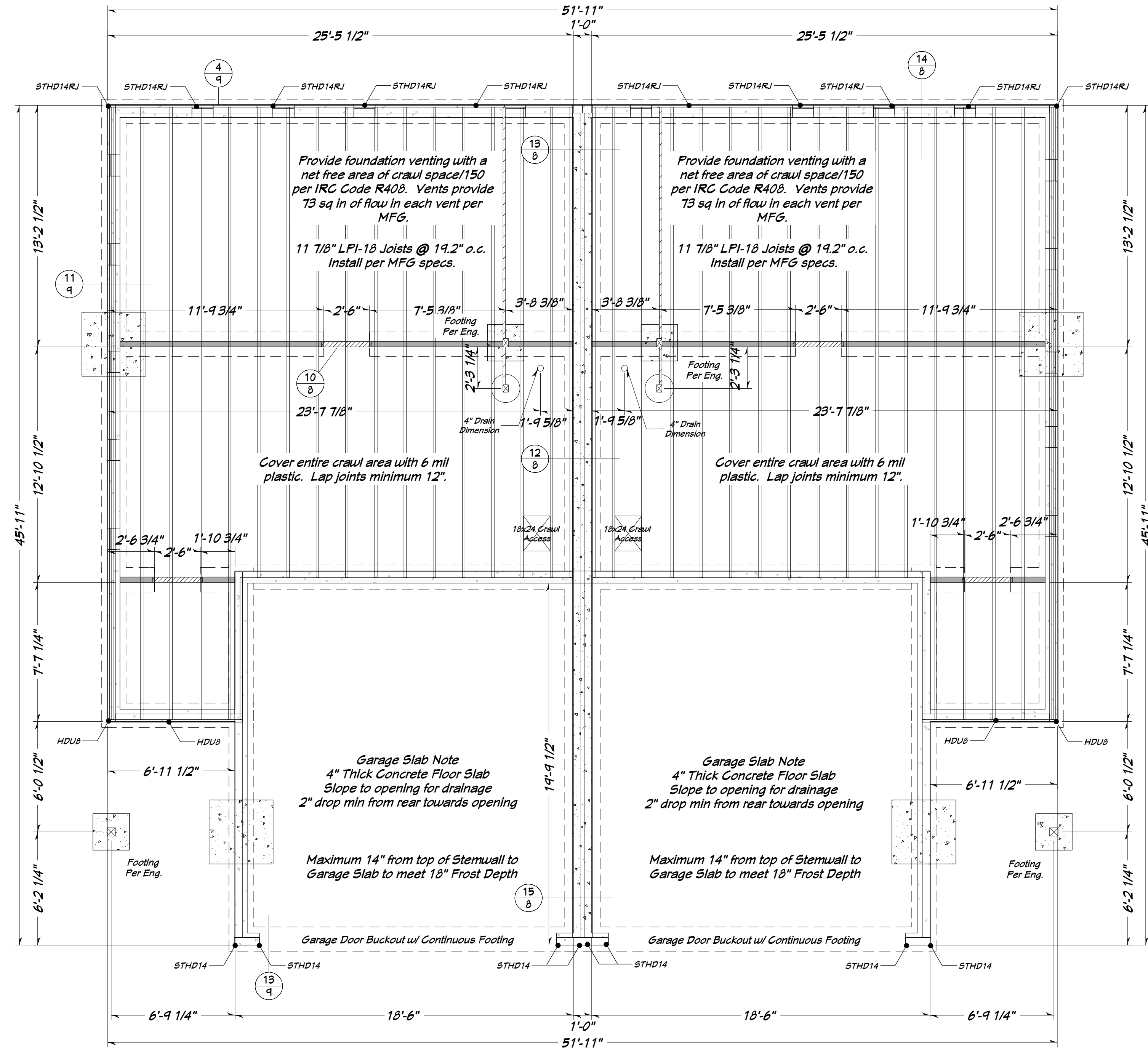
NOTE: Some options may show on your set of house plans that are not included or a part of your Construction Contract with Reality Homes Inc.



1309 Alexander Ave. E. File, WA 98124
 PH - 253.722.2268 FX - 253.425.2070
 Designer: Lyndsay Walker
 Checker: [unintelligible]
 Project Number



Second Floor Framing Plan
 Scale 1/4" = 1'



Foundation Plan
 Scale 1/4" = 1'

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These plans were exclusively designed for
Lyndsay Walker
 127-33 Kenicott Road
 Chehalis, WA 98532
 Parcel # - 17466001004

The Client / Home Owner, General Contractor shall verify all setbacks, dimensions, structural details, building codes, and grading requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract award. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, accessories, etc., must be identified prior to construction materials. The builder shall not be held responsible for errors caused due to a lack of coordination by the sub-contractors.

These Plans are diagrammatic in nature and are intended to identify the most significant elements of the building's construction. These Plans are intended to provide adequate information to the Governing Regulatory Agency regarding compliance with Local and International Residential Building Codes. It shall be understood that non-regulatory items which are not required by code are shown as options. The Client / Home Owner is advised that these Plans are subject to change at the building according to a pre-authorized Building Order generated by Reality Homes Inc. For finishes and options, please refer to the Building Order. In particular, the Options specified within the Building Order shall be strictly adhered to. If a building element is not shown on the plans but appears within the Building Order, the Building Order shall govern.

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Sheet Description

Foundation Plan

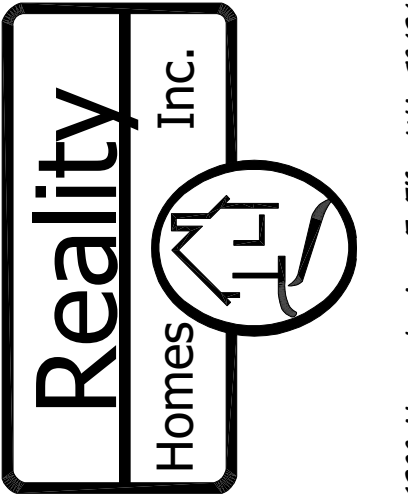
Plan Name

3155 BayShore

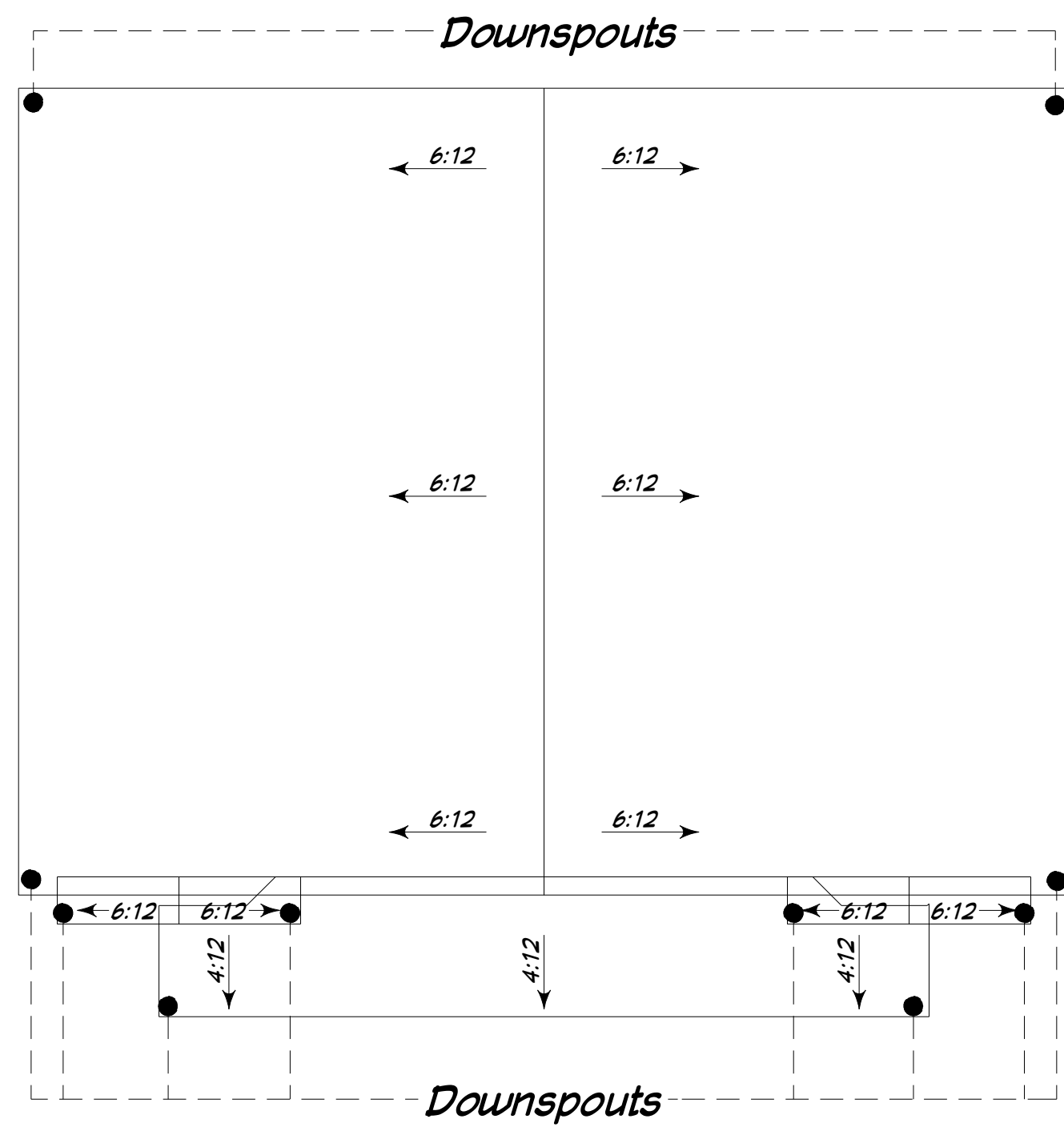
4 of 10

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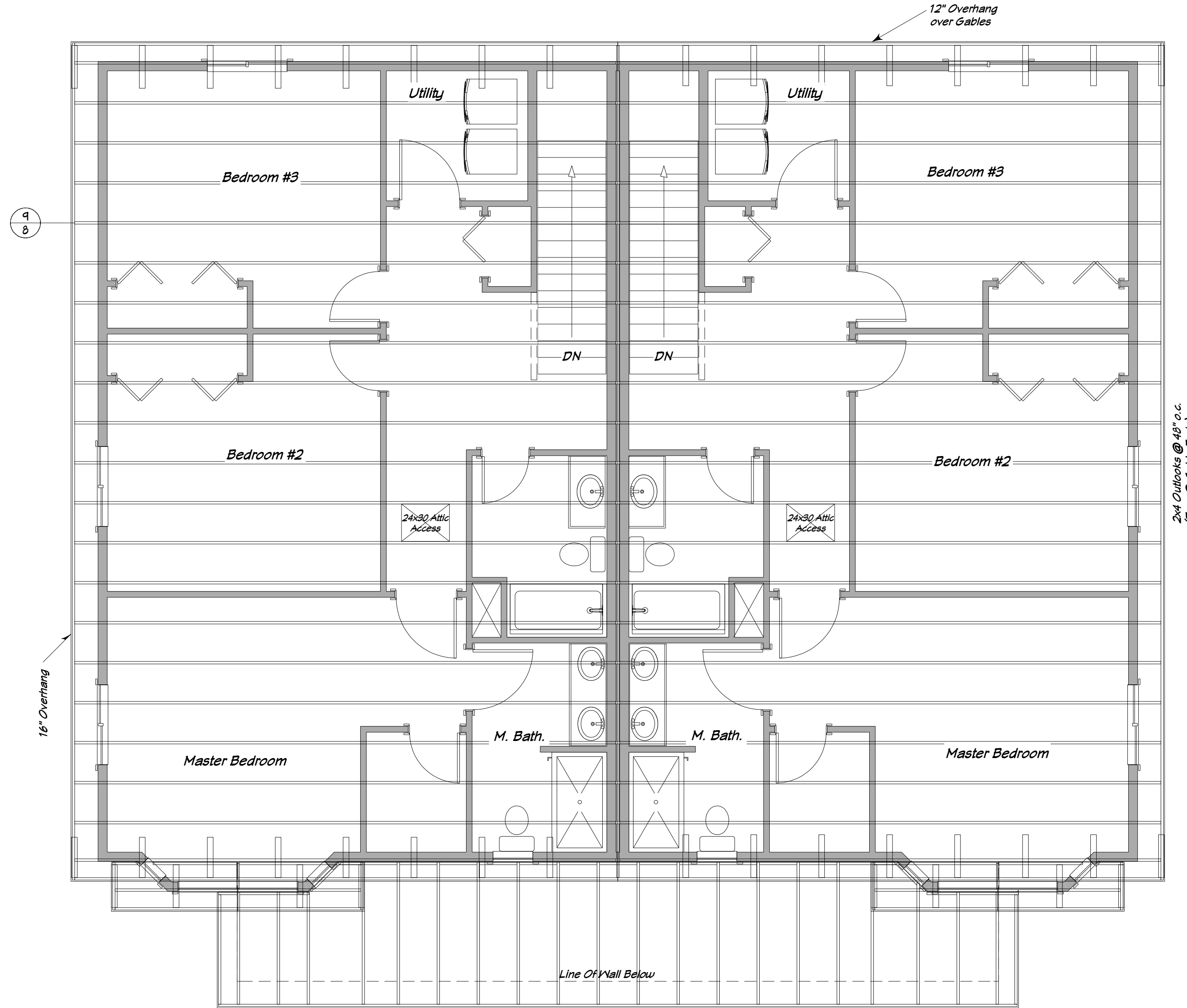
NOTE: Some options may show on your set of house plans that are not included or a part of your Construction Contract with Reality Homes Inc.



1309 Alexander Ave. E. Fife, WA 98124
 FH - 253.722.2269 FX - 253.429.2070
 Designer: [Name] Project Number: [Number]



Roof Drainage Plan
 Scale 1/8" = 1'



Roof Framing Plan
 Scale 1/4" = 1'

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These plans were exclusively designed for
Lyndsay Walker
 127-33 Kenicott Road
 Chehalis, WA 98532
 Parcel # - 17466001004

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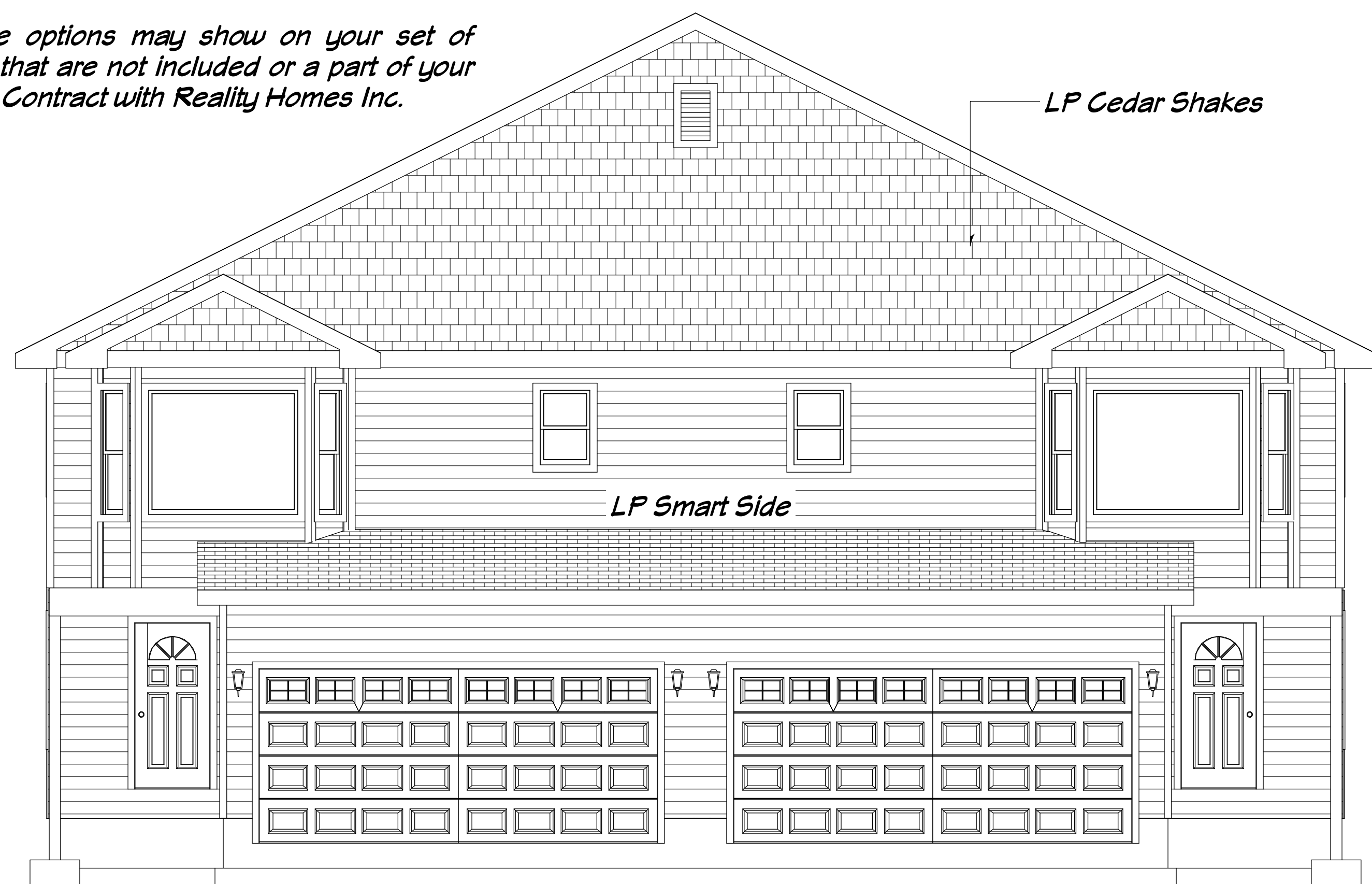
Sheet Description
Roofing Plan

Plan Name
3155 BayShore

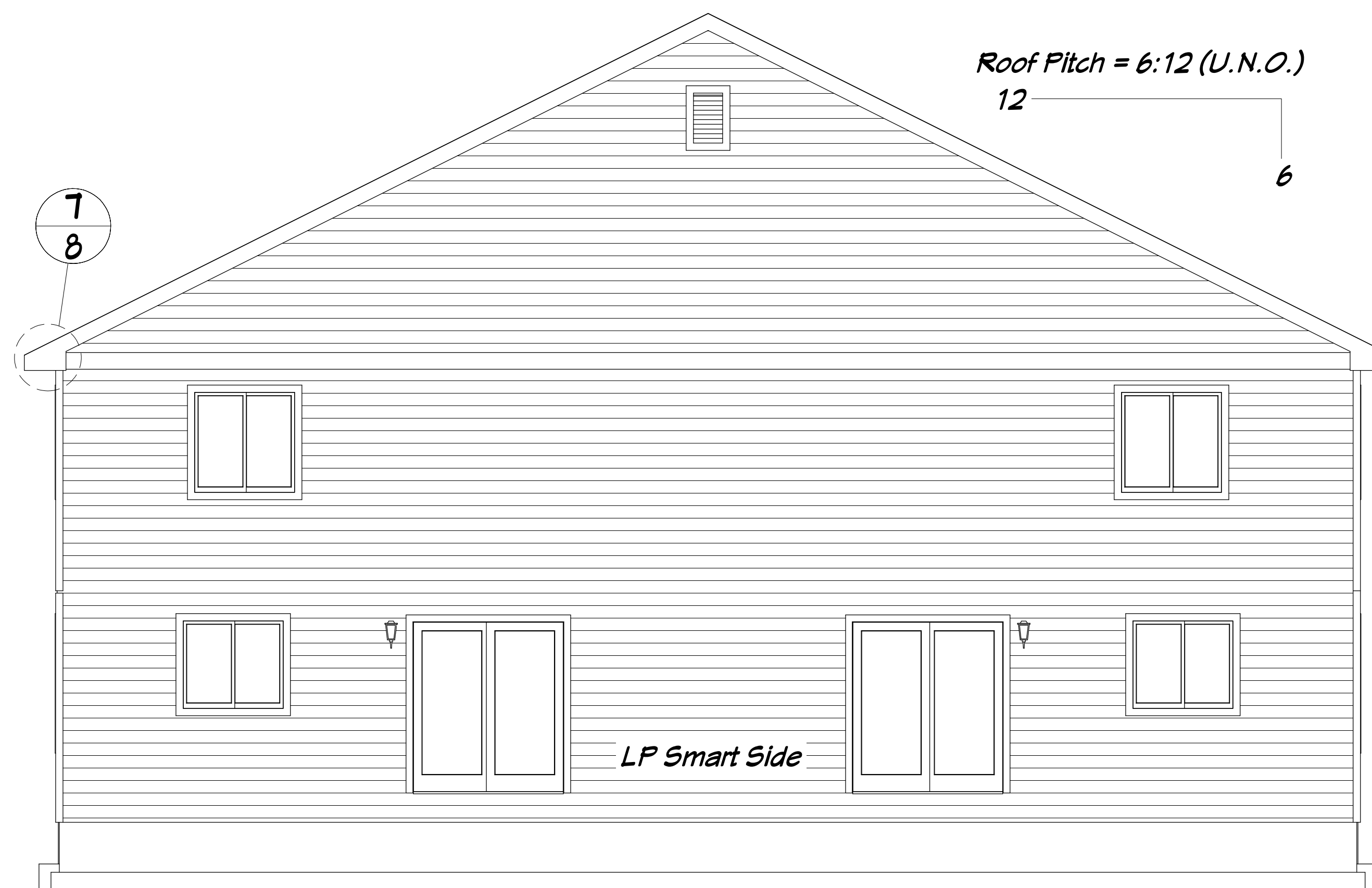
5 of 10

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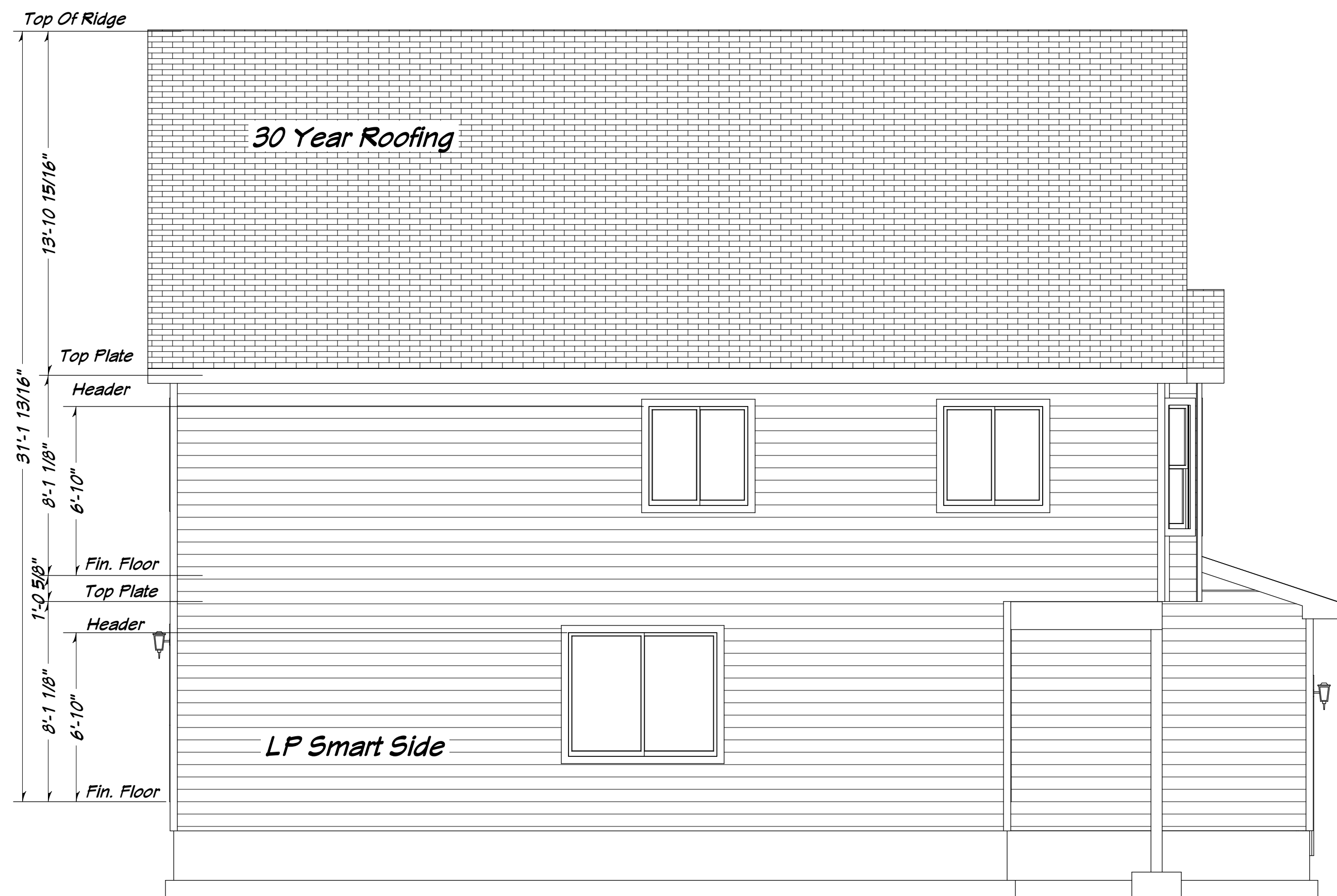
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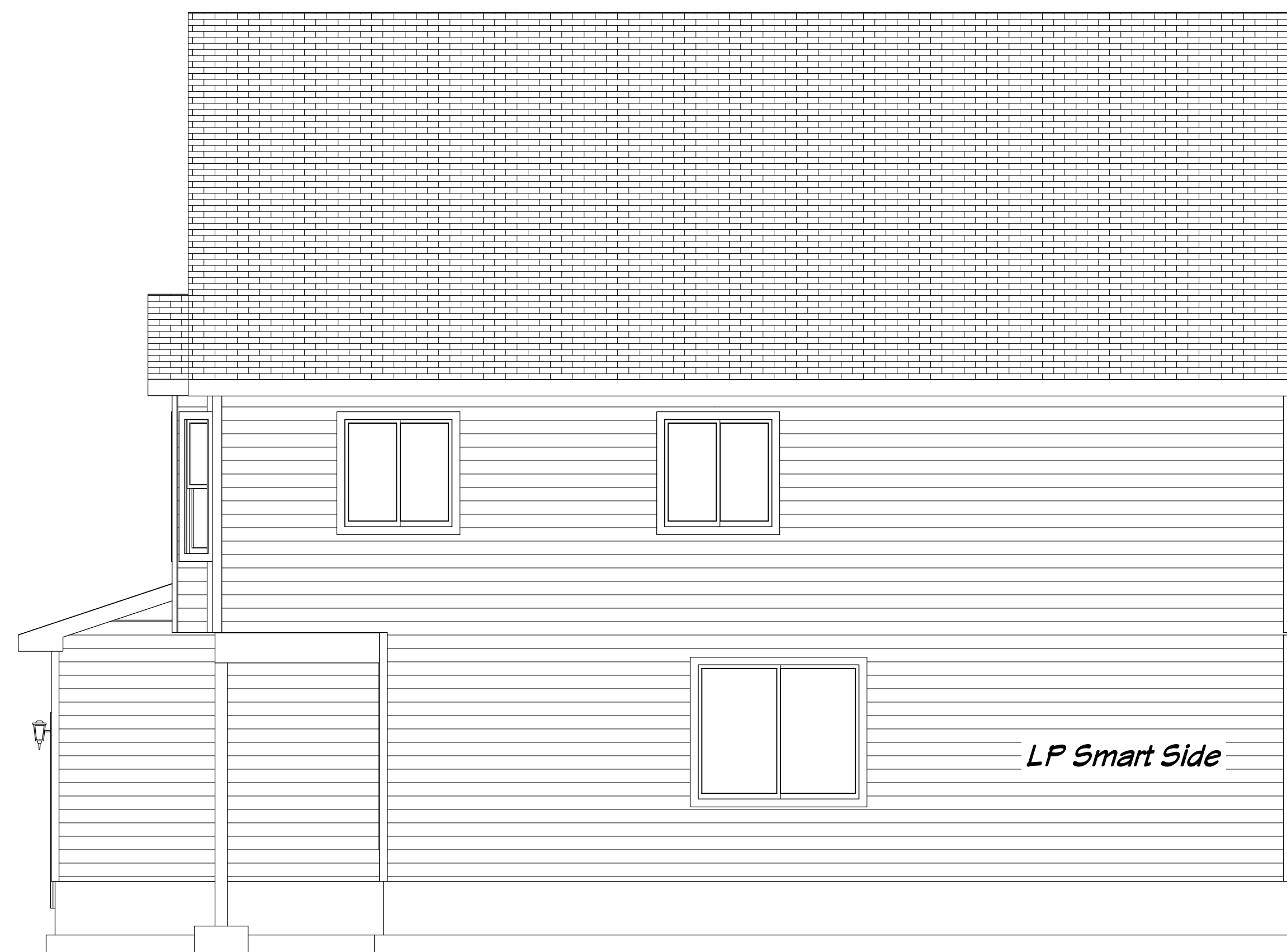
Front



Rear

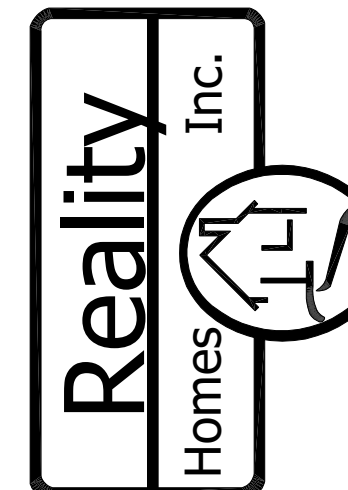


Left Side



Right Side

Elevations
Scale 1/4" = 1'



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PH - 253.722.2269 FX - 253.423.2070
Designation: Designer
Customer Number: Project Number

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Chehalis, WA 98532
Parcel # - 17466001004

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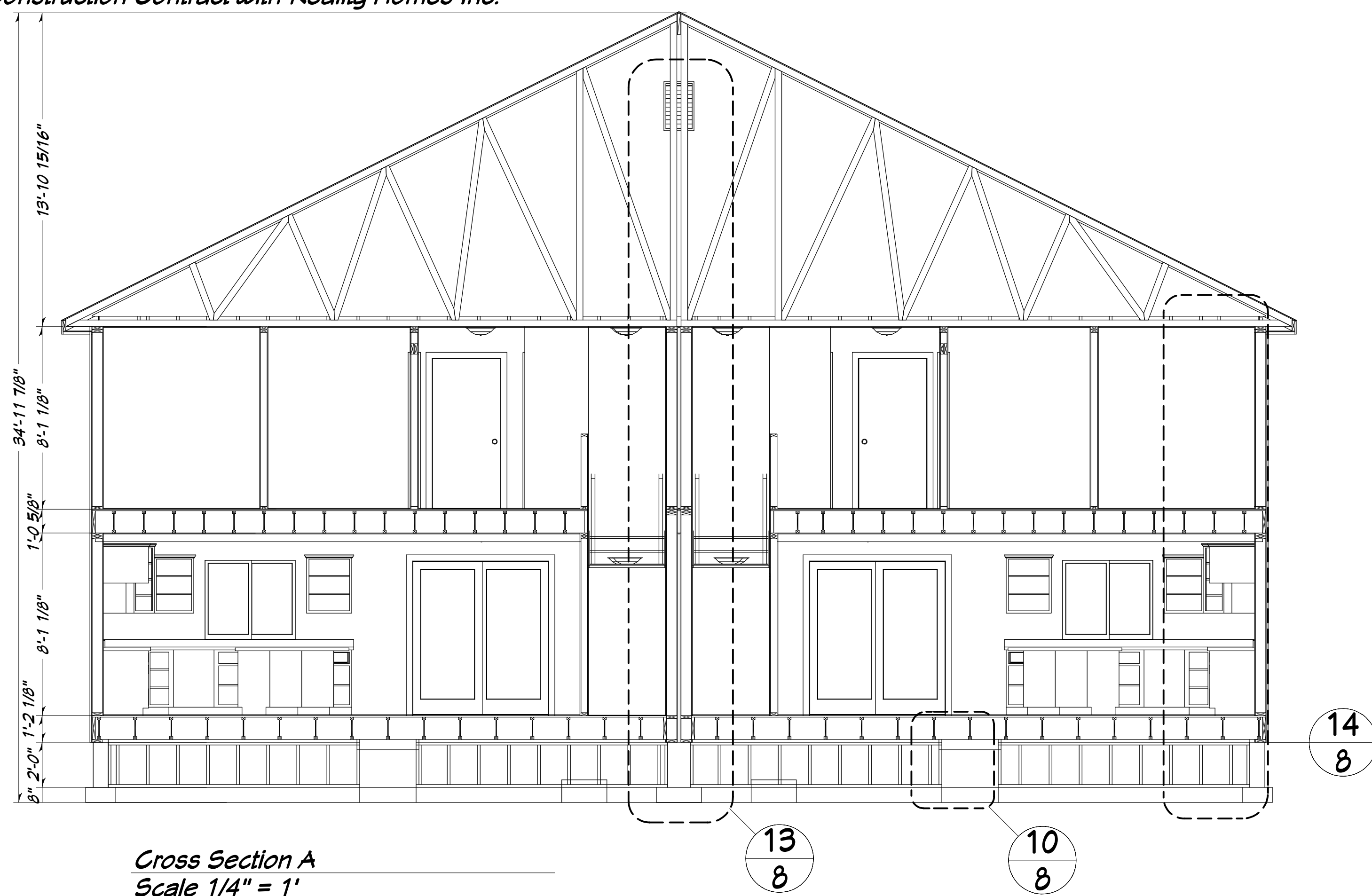
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Sheet Description
Elevations
Plan Name
3155 BayShore

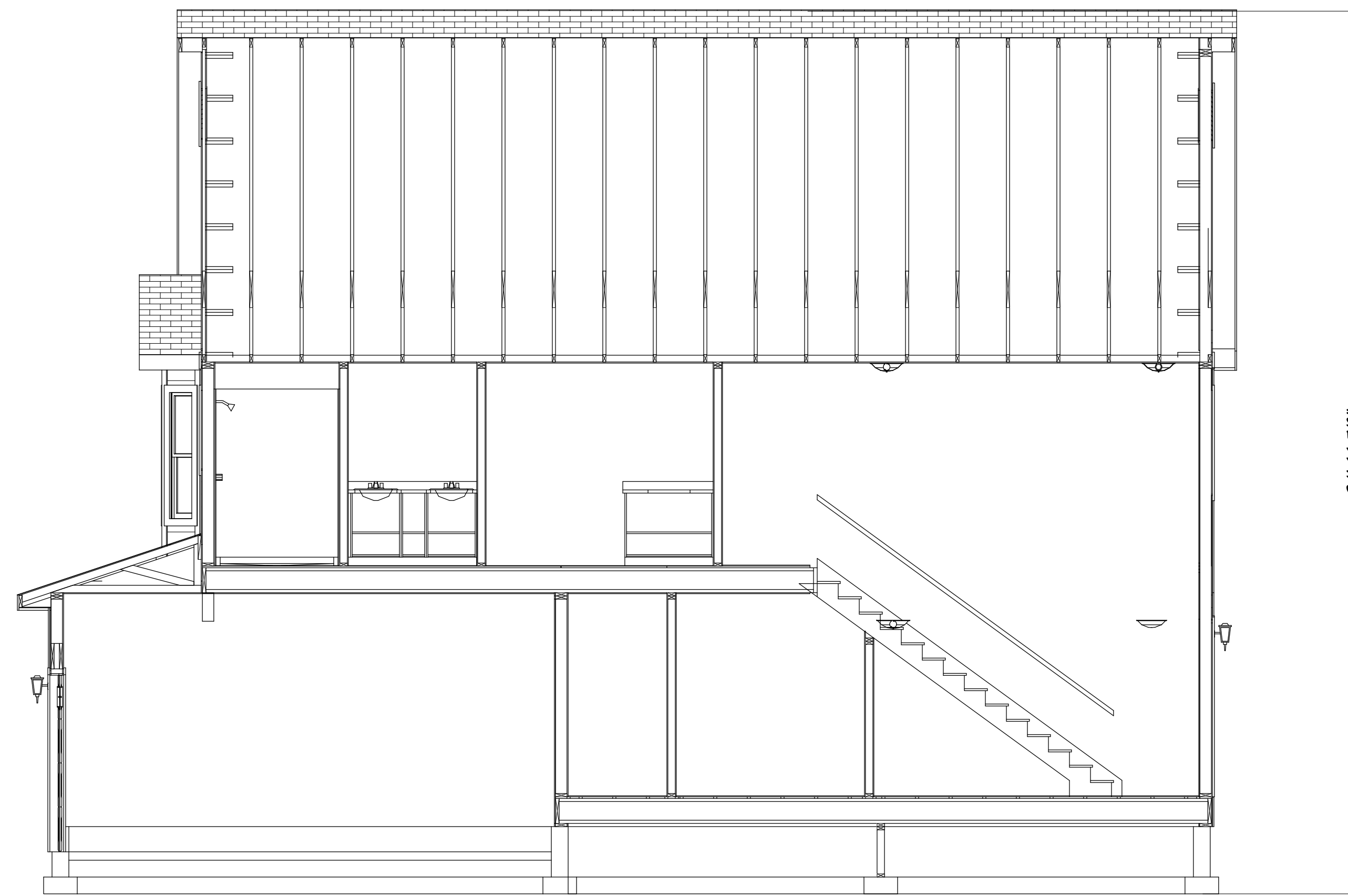
6 of 10

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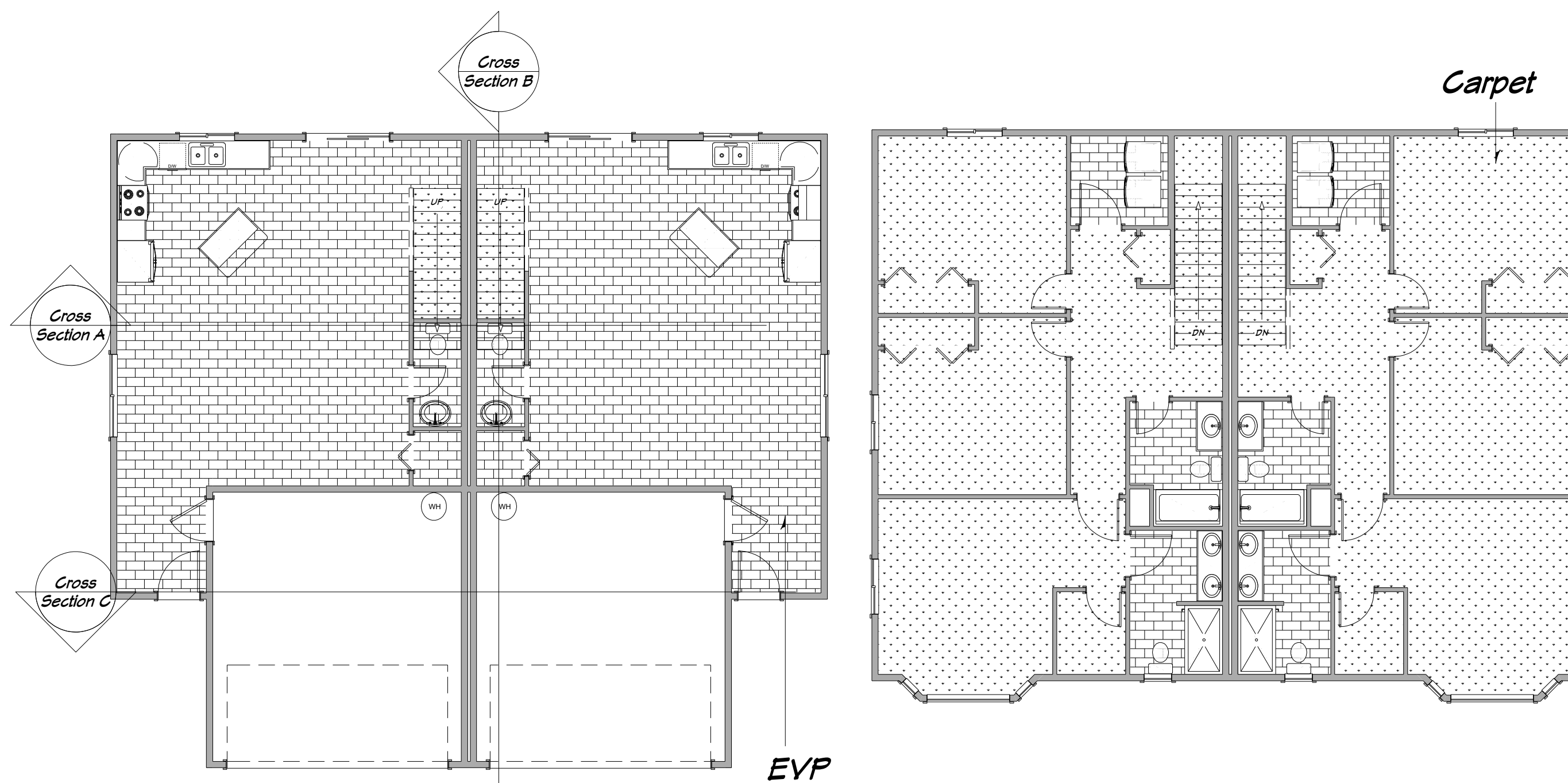
Cross Section A
Scale 1/4" = 1'



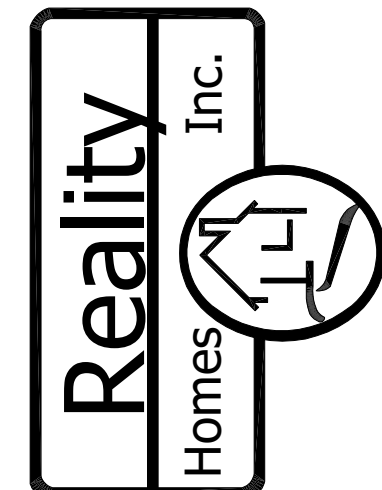
Cross Section B
Scale 1/4" = 1'



Cross Section C
Scale 1/4" = 1'



Floor Covering & Cross Section Locator
No Scale



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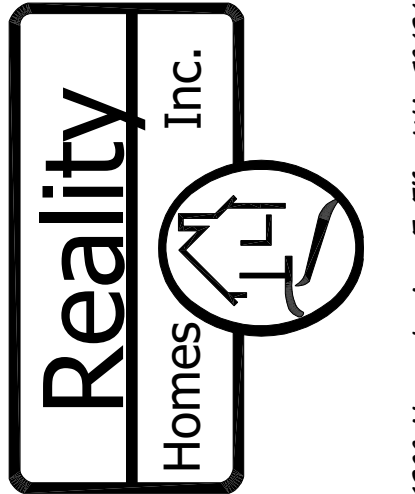
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Sheet Description
Cross Sections
Plan Name
3155 BayShore

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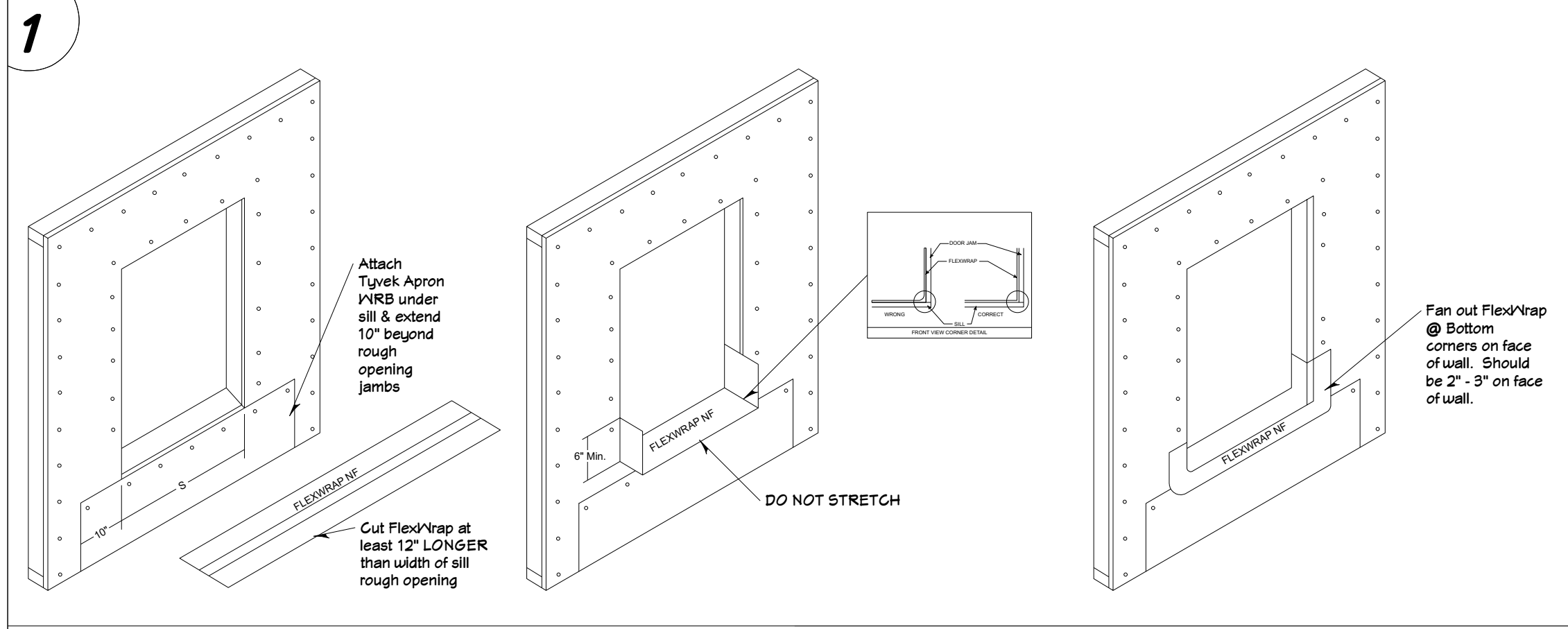
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Sheet Description
Details

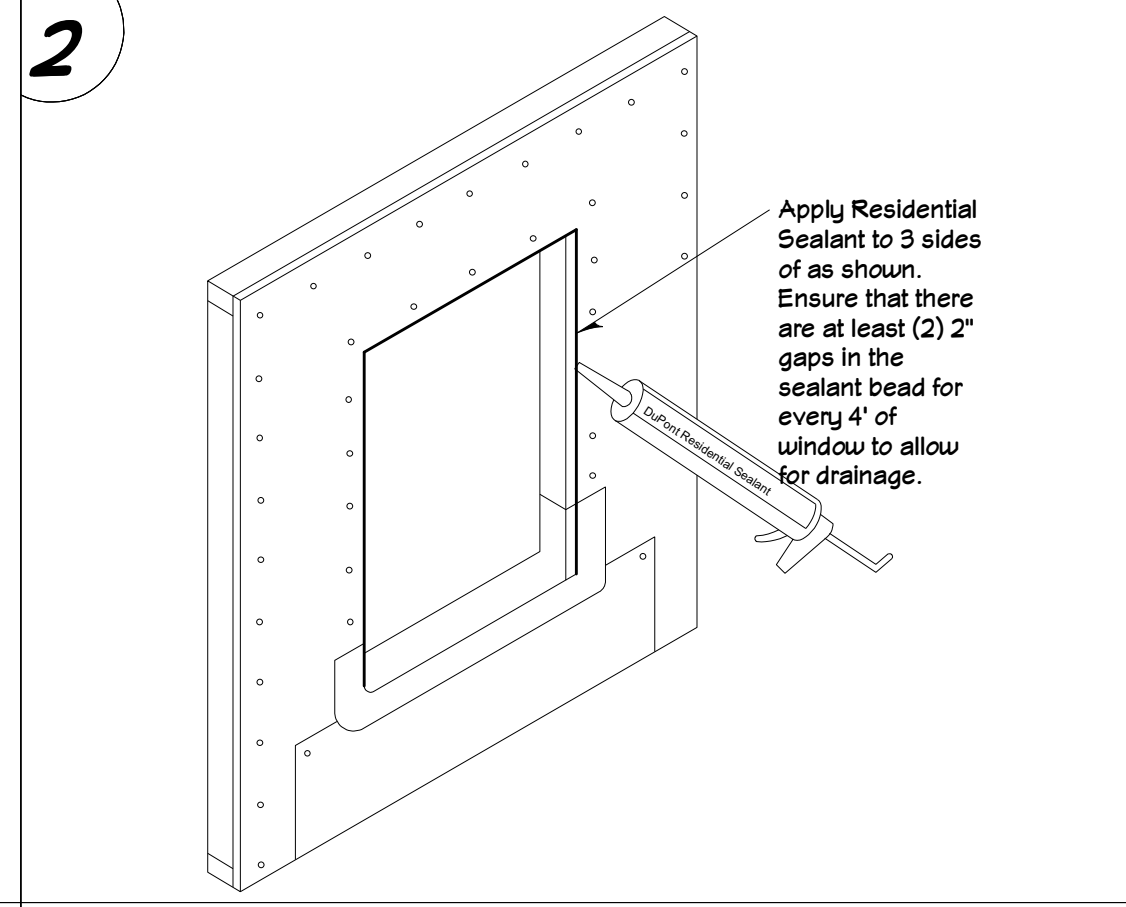
Plan Name
3155 BayShore

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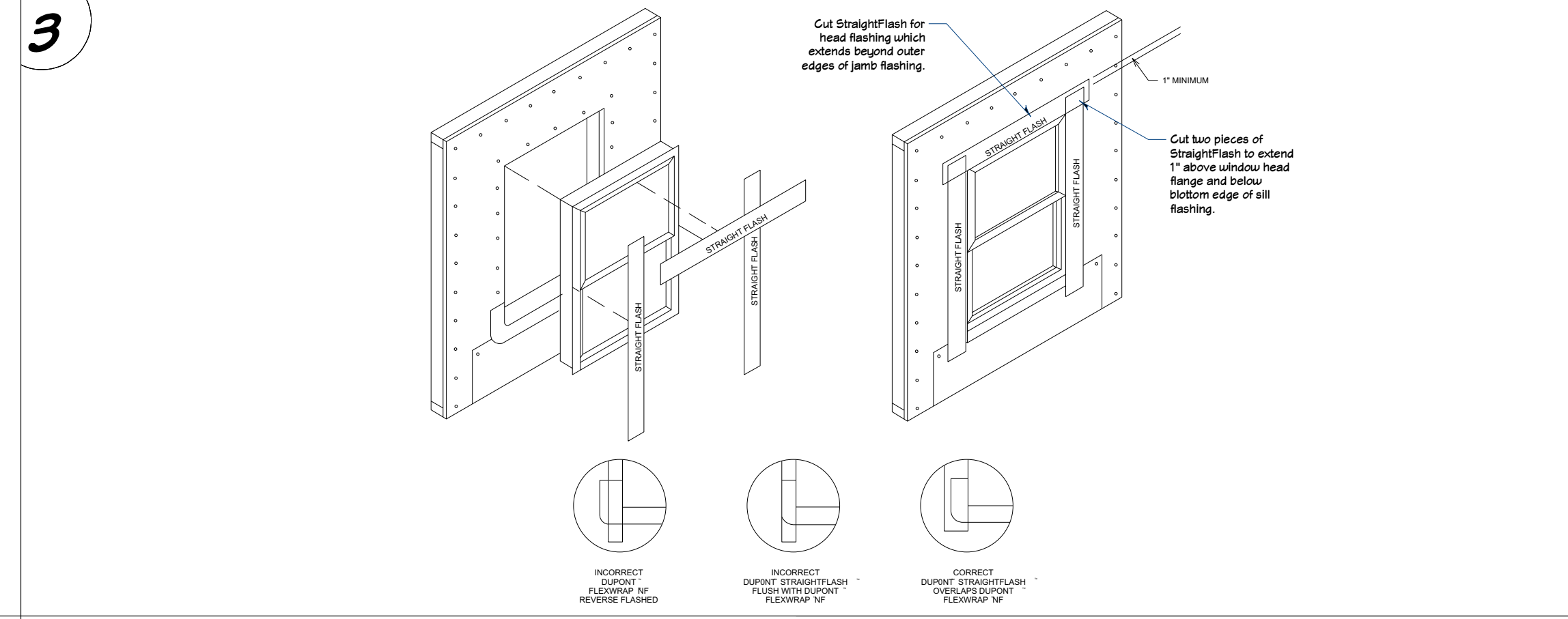
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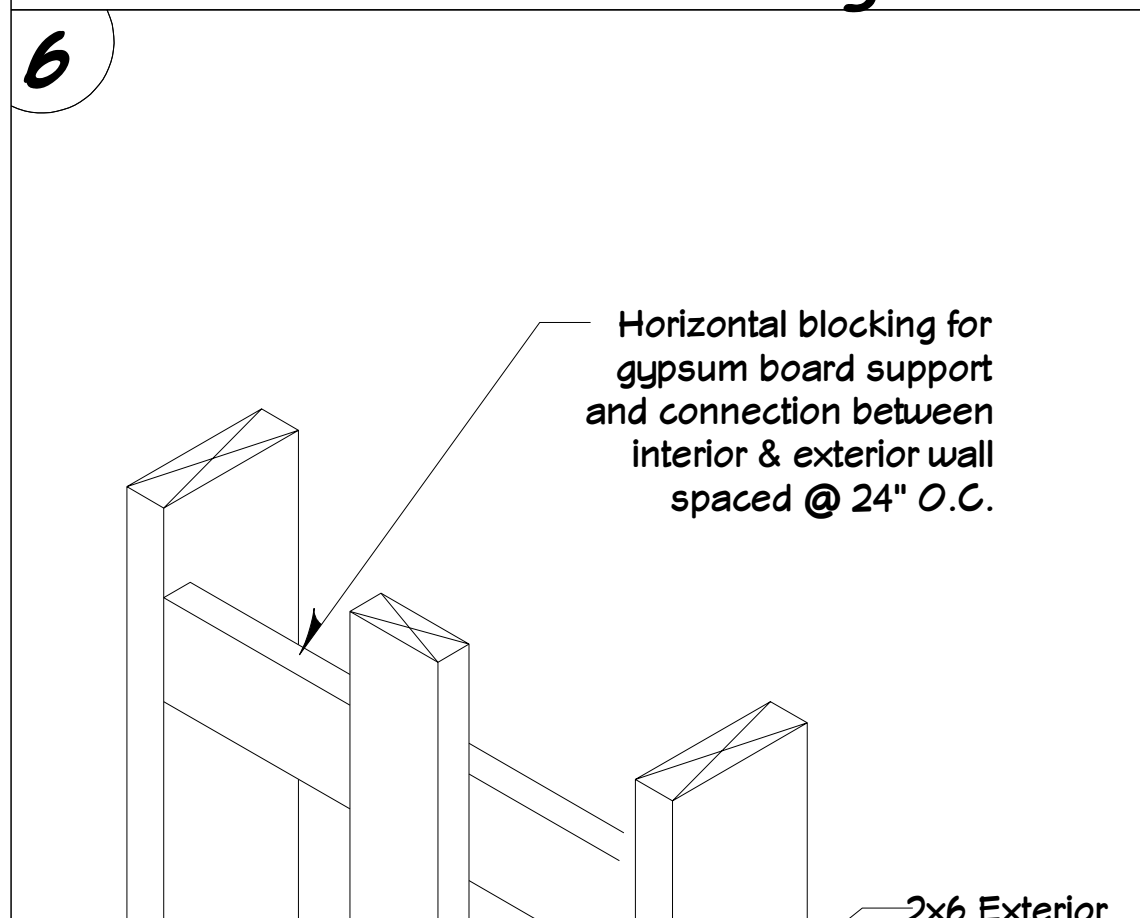
Tyvek Flashing Step 1



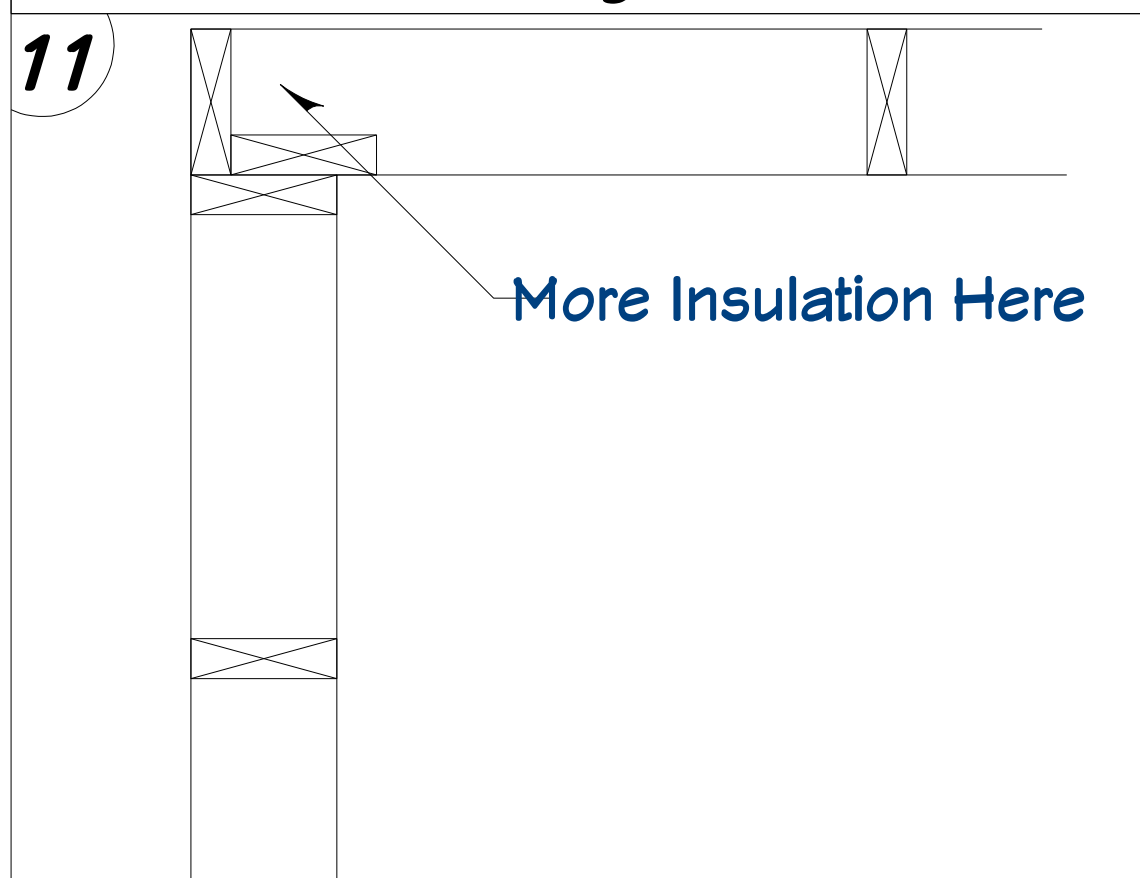
Tyvek Flashing Step 2



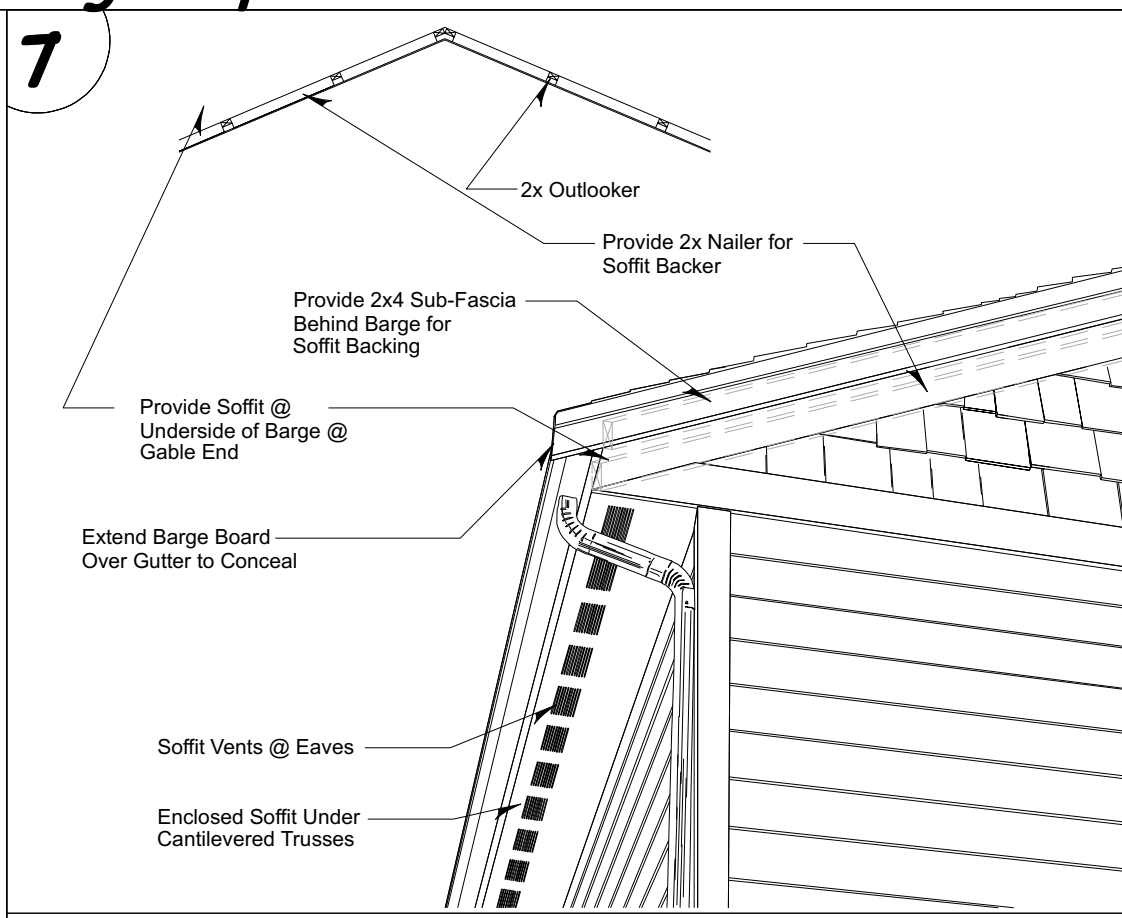
Tyvek Flashing Step 3



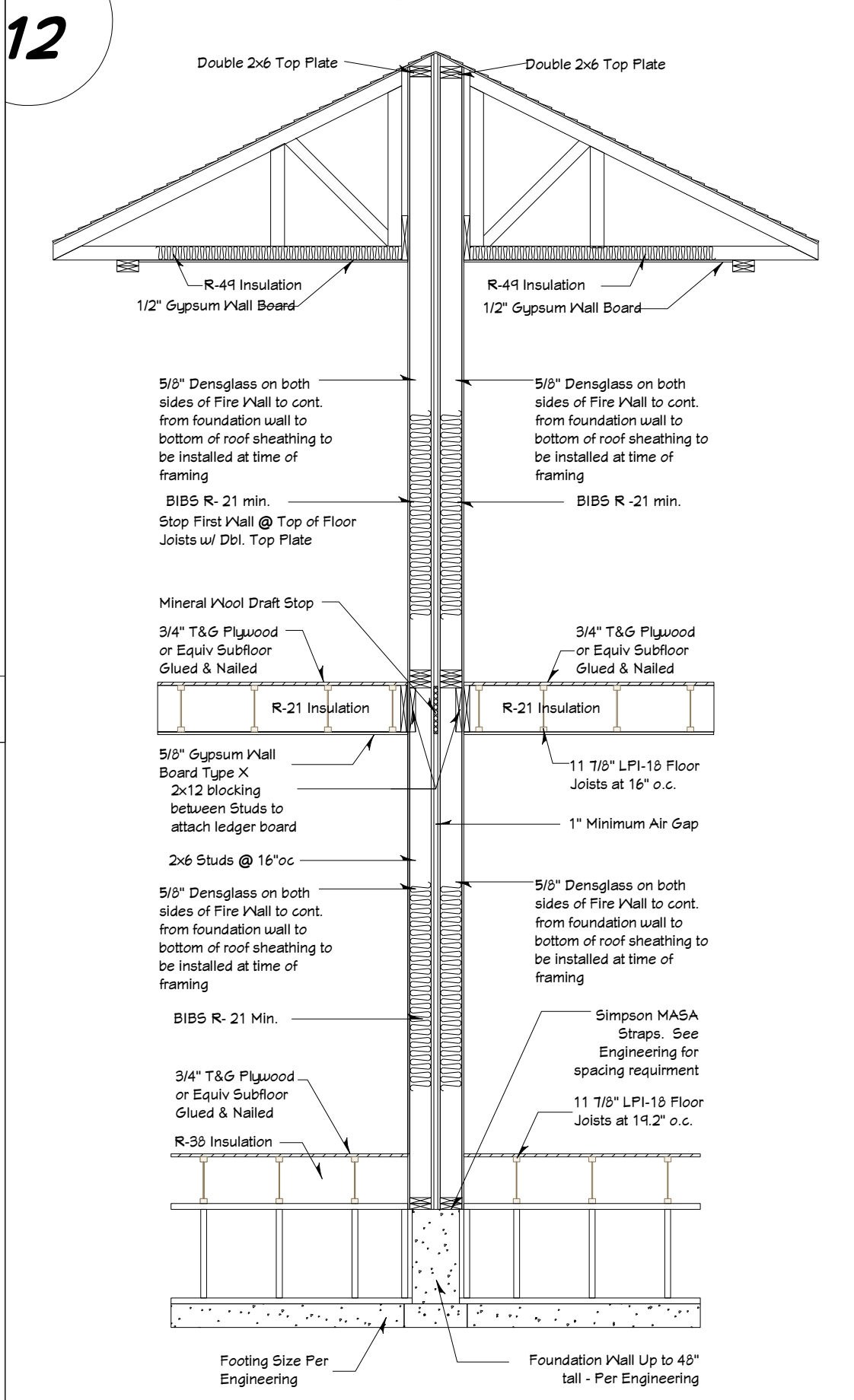
Ladder Framing Wall Detail



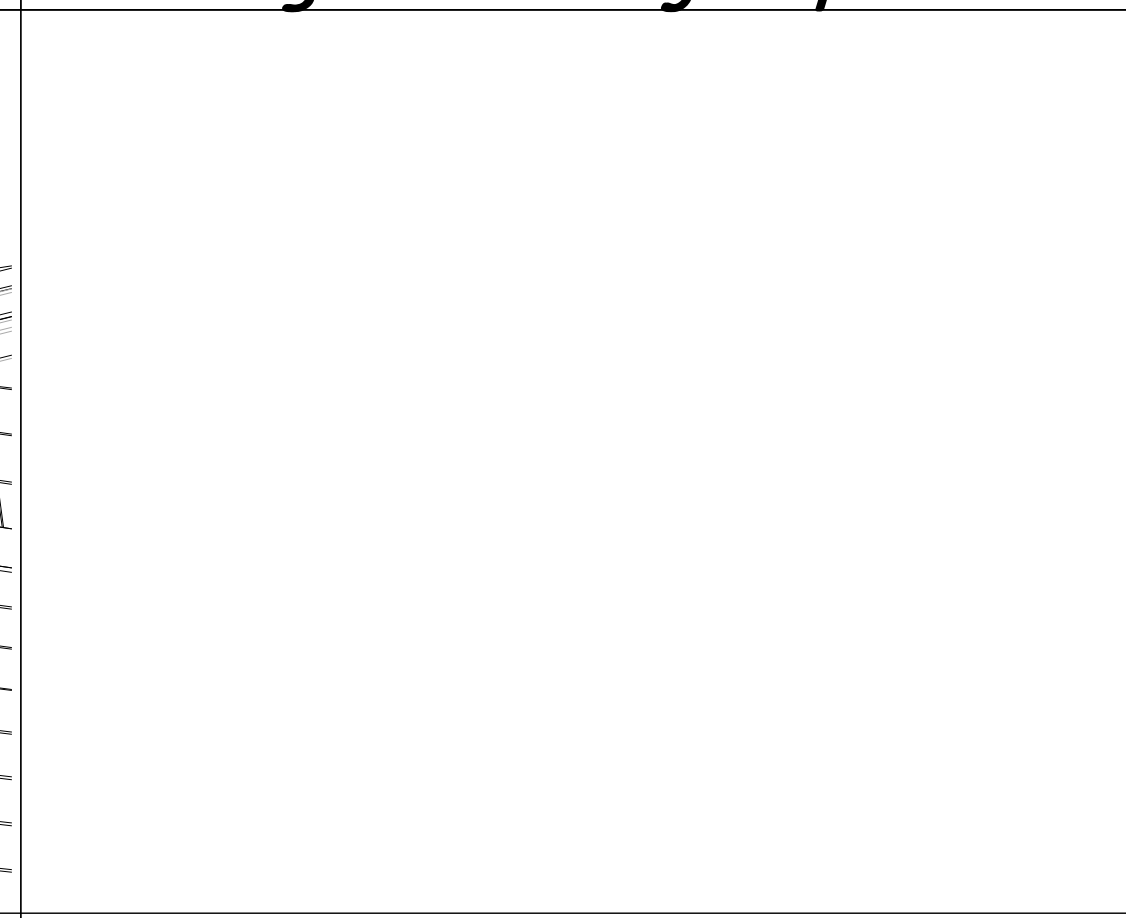
California Corner Wall Framing Detail



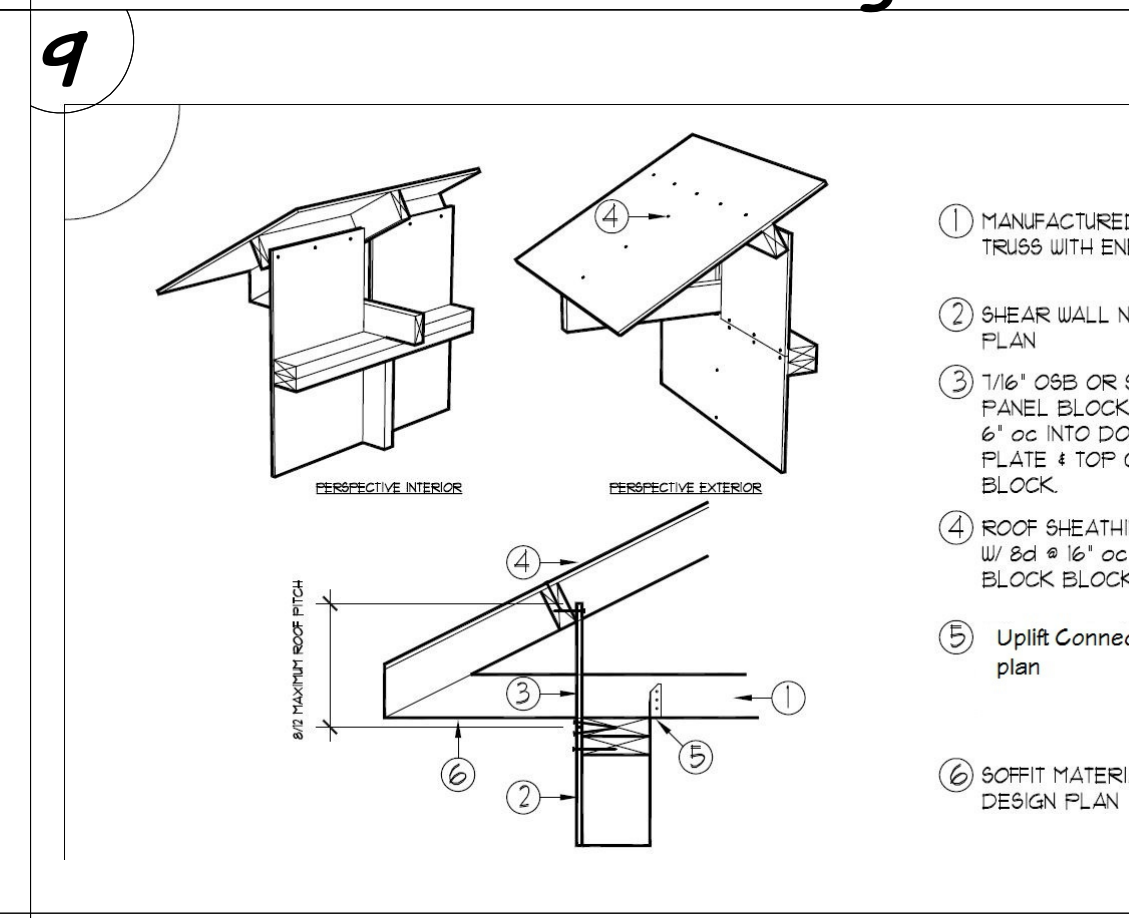
Roof Overhang Soffit Standards



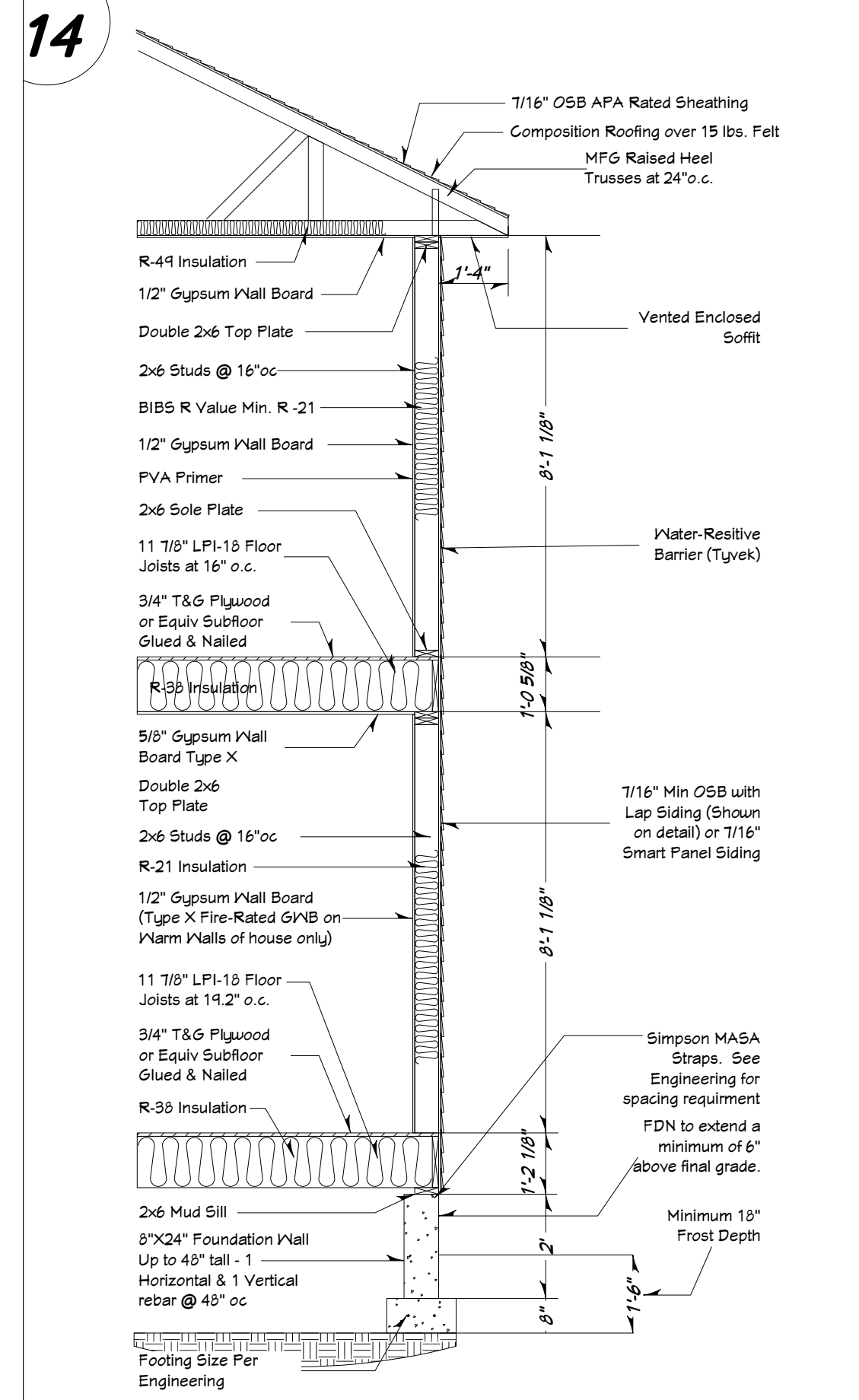
2 Story Party Wall



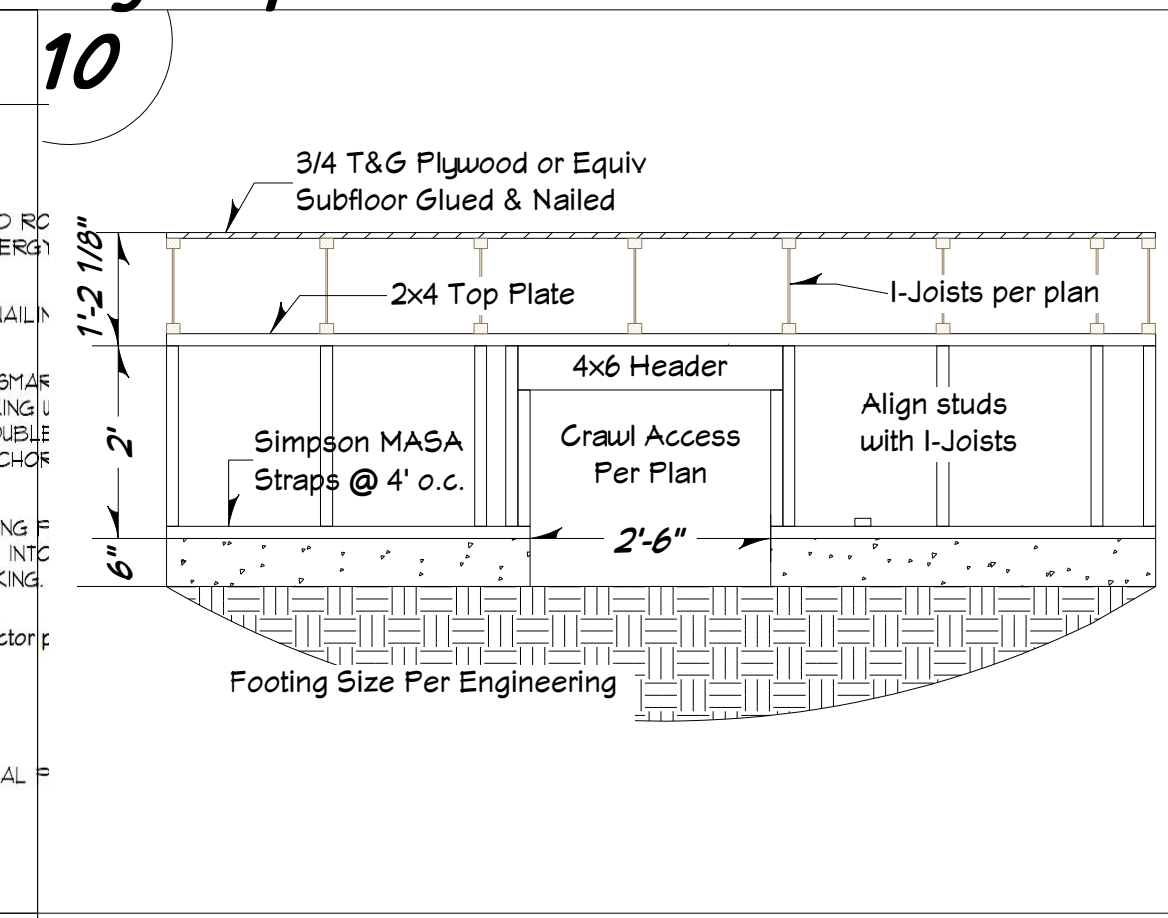
Party Wall @ Open To Below



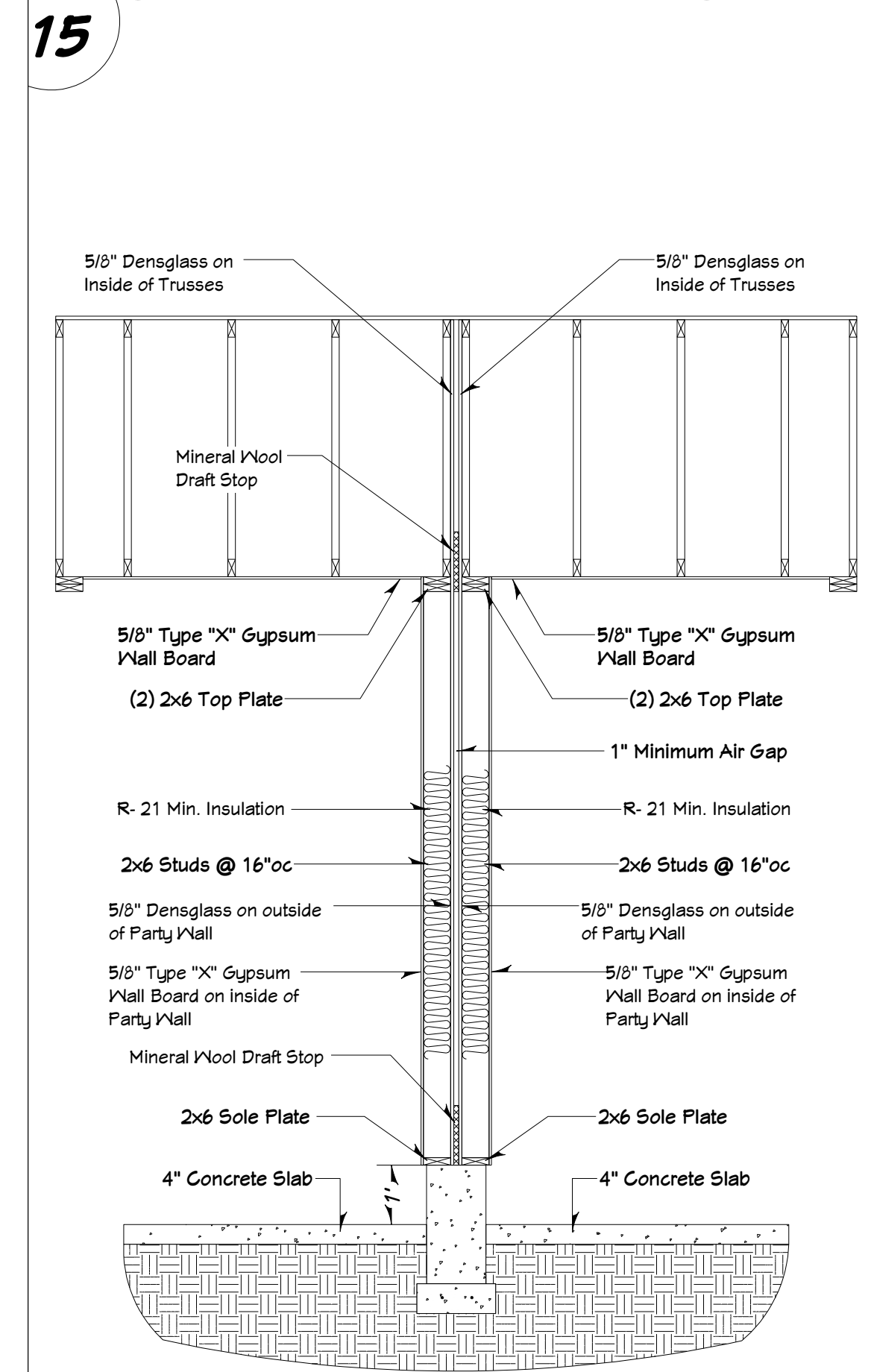
Raised Heel To Shear Wall



2 Story Garage W/ Living Space

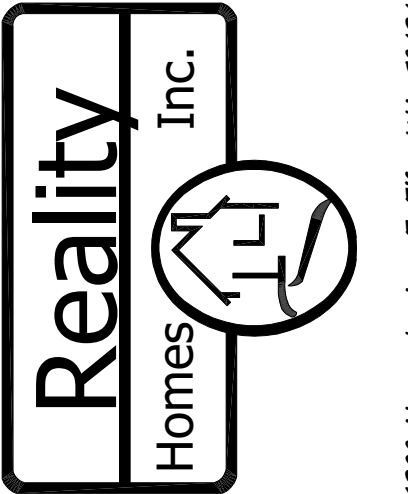


Pony Wall Detail (Rim Joist System)



1 Story Party Wall @ Garage

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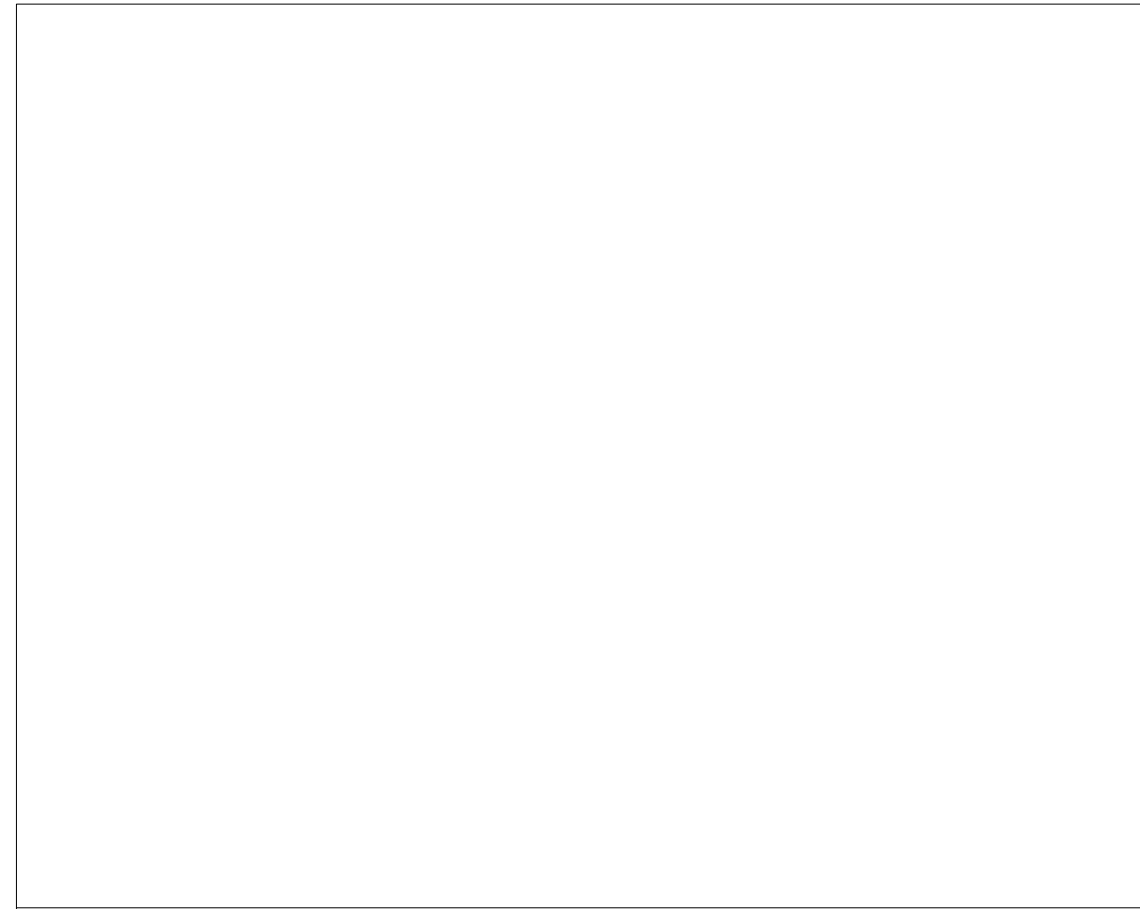
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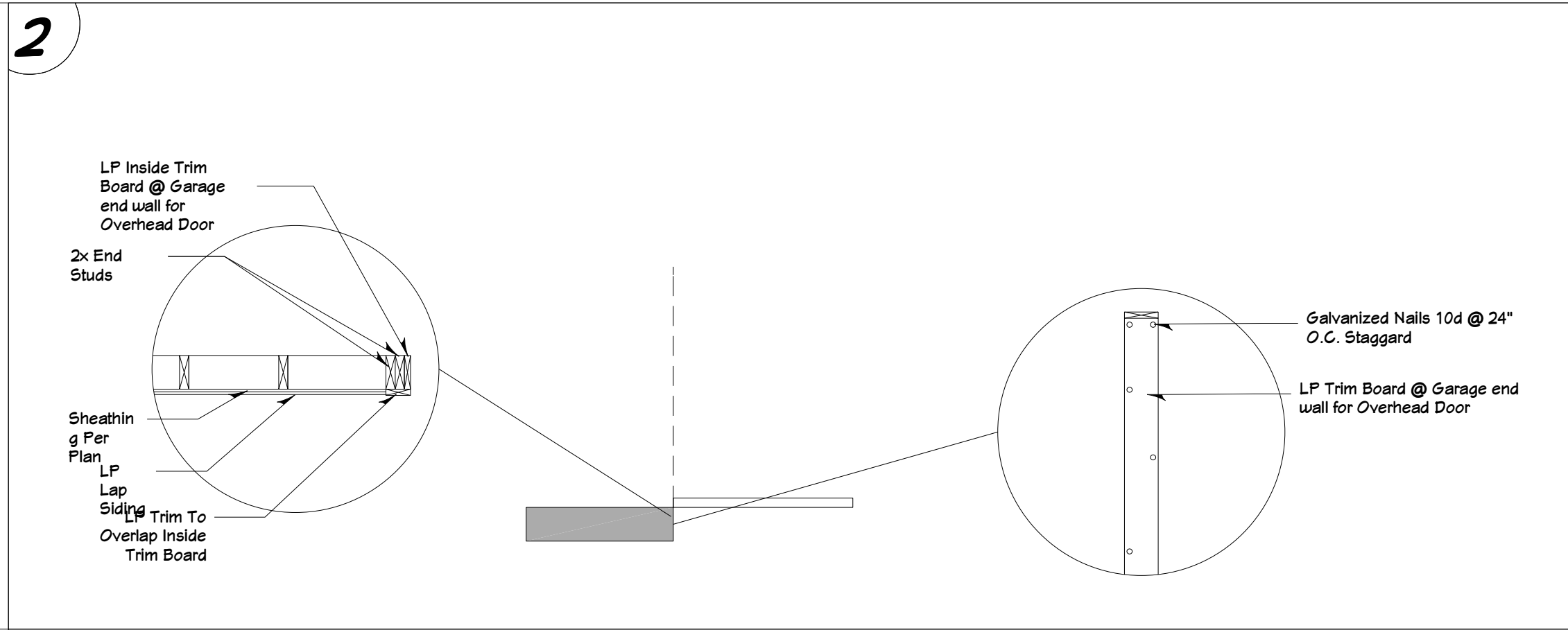
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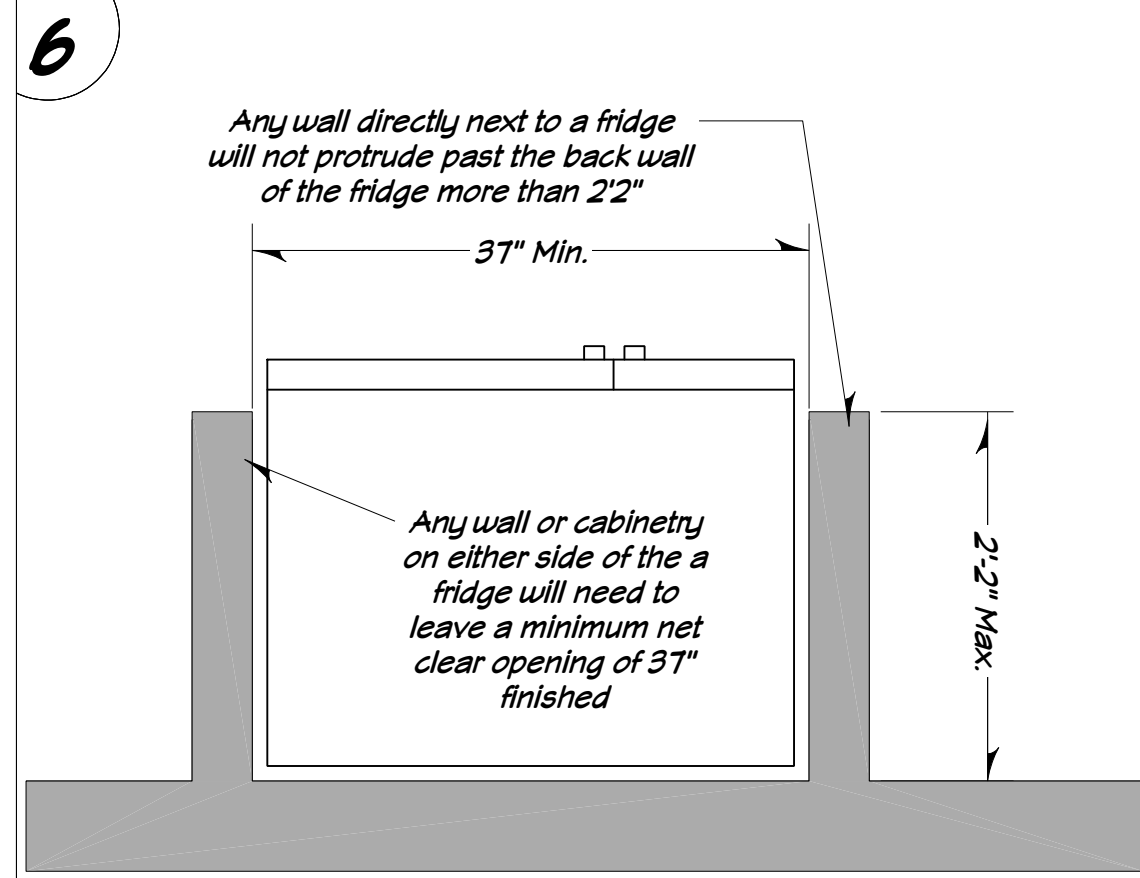
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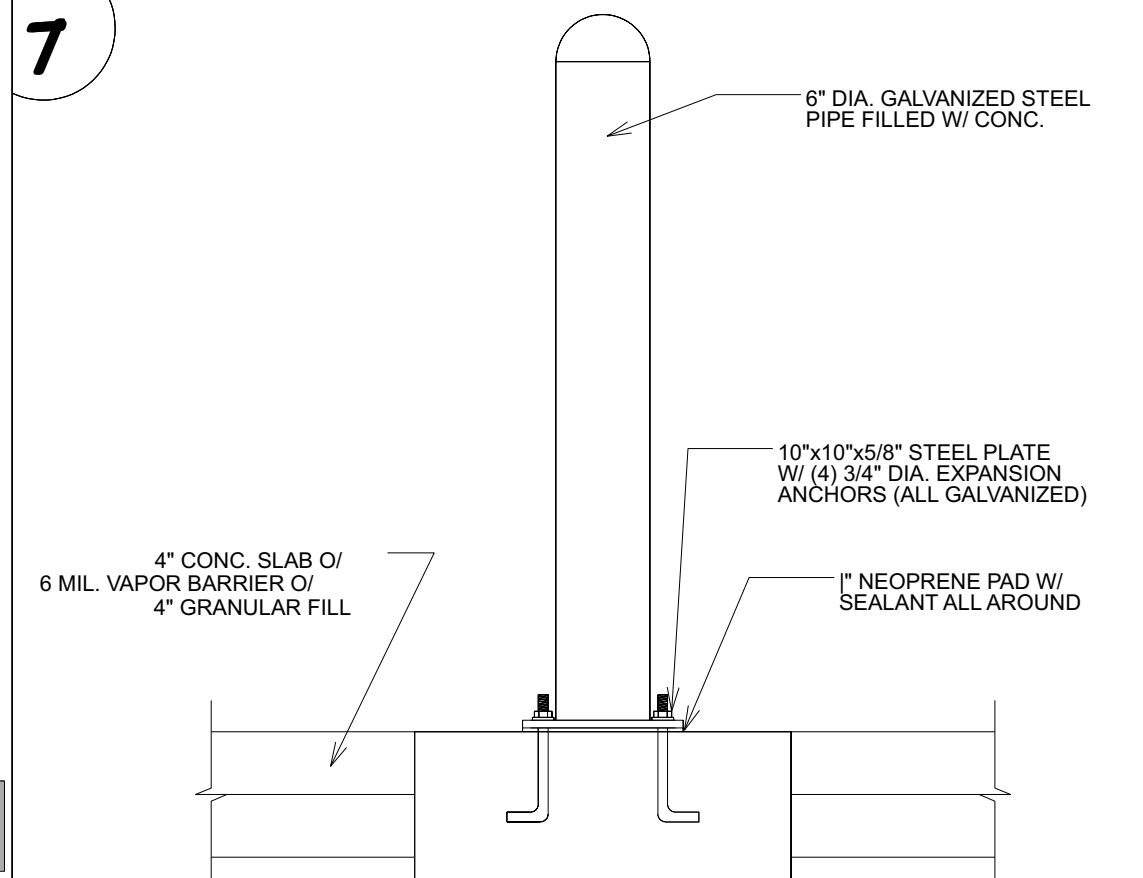
HUC Connection to House



Foundation Overhang Detail



Fridge Framing Detail

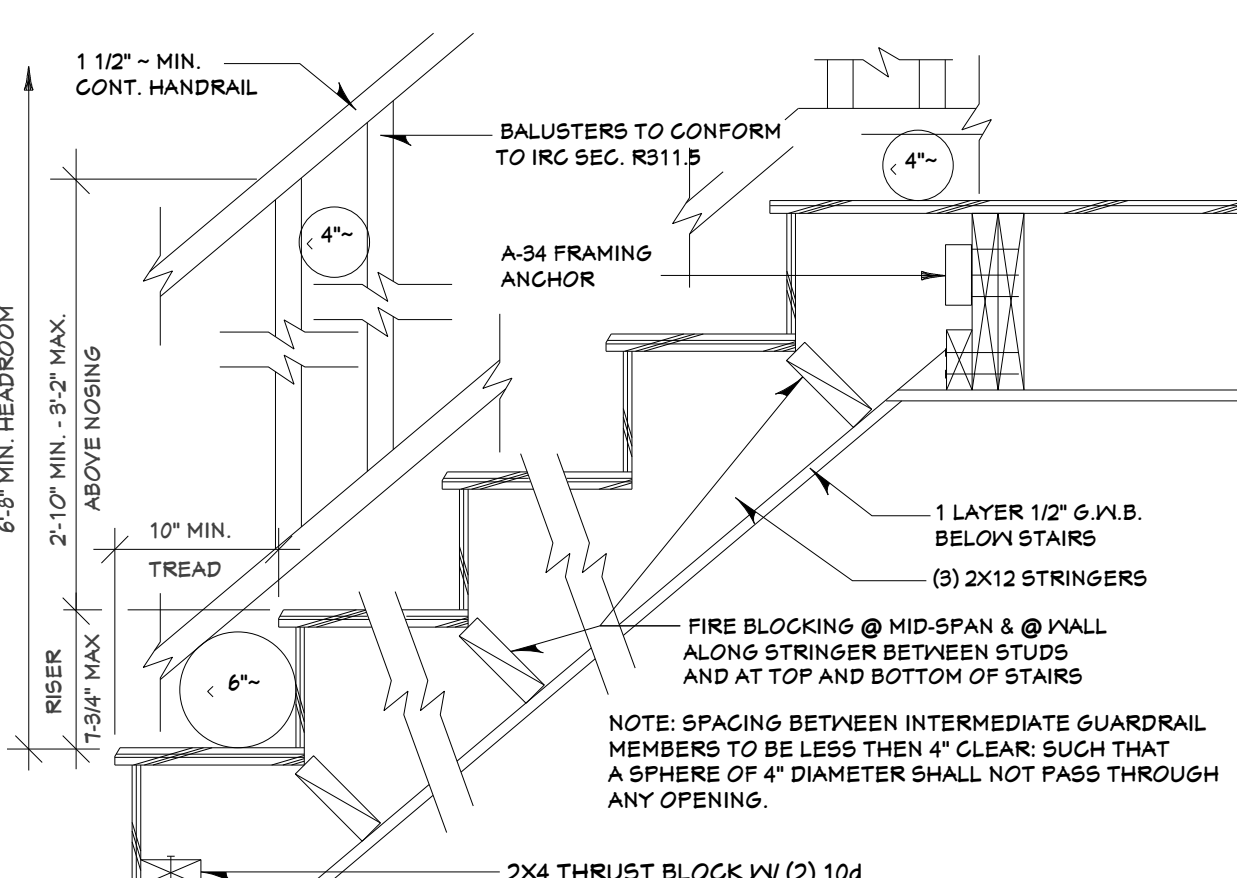


LP Trim @ Garage Overhead Door

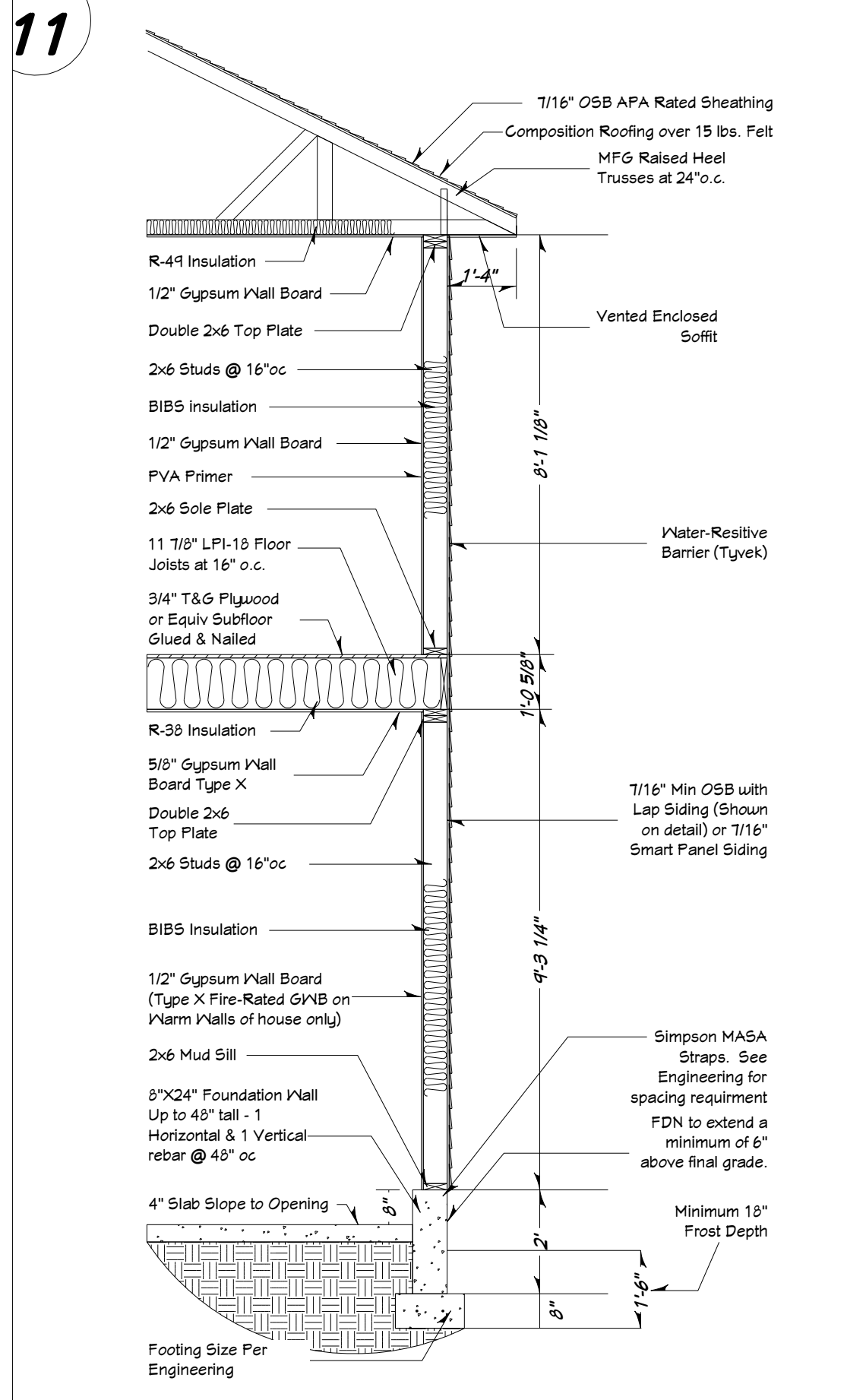


Bollard Detail

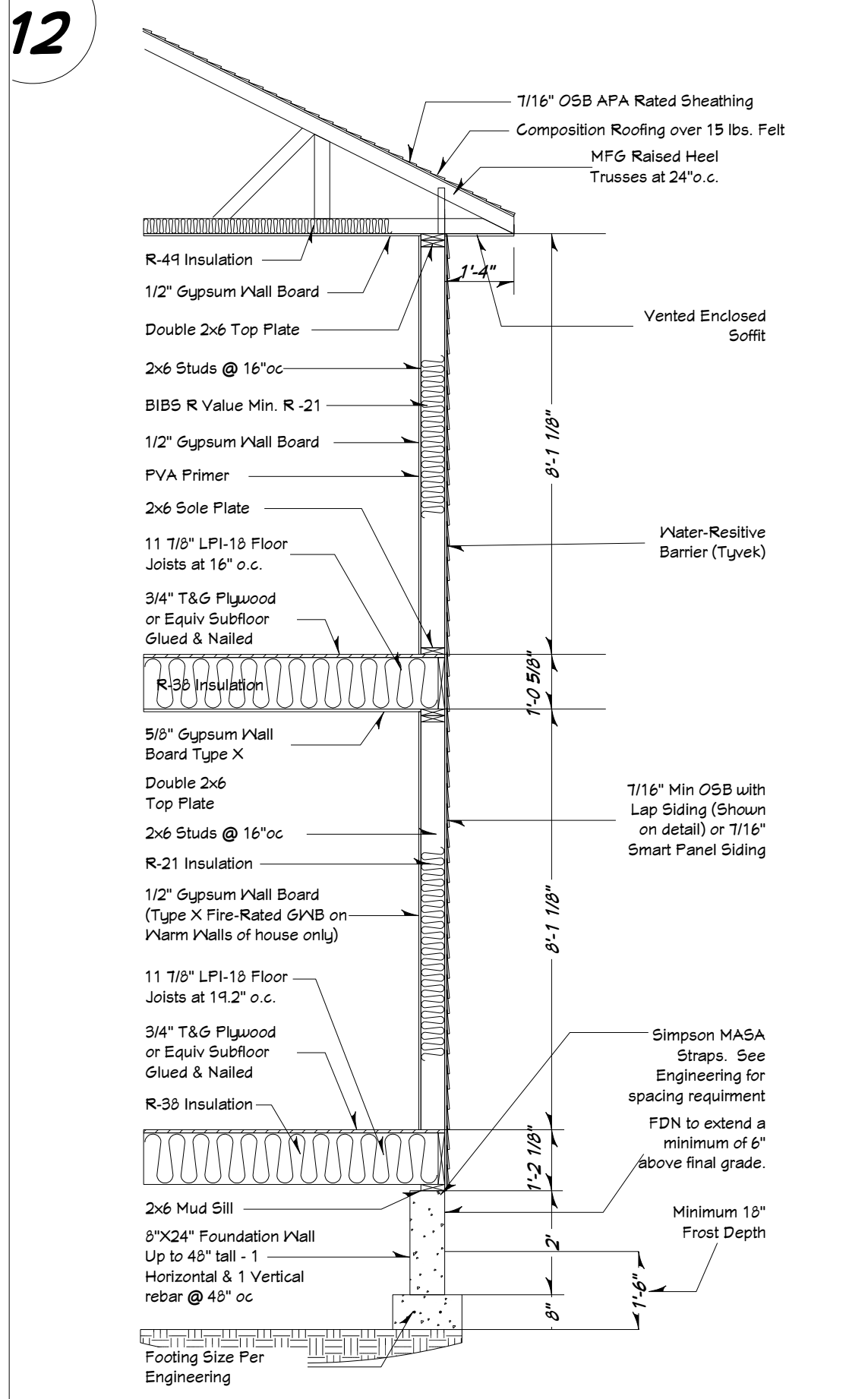
9
 NOTES: PER IRC SECTION 303.6, R311.5.1 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR INCLUDING LANDINGS & TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP OF THE LANDING OF THE STAIRWAY. LIGHTING CONTROLS SHALL BE ACCESSIBLE AT THE TOP & BOTTOM OF EACH STAIRWAY WITHOUT TRAVERSING ANY STEPS. 4 OR MORE RISERS TO HAVE AT LEAST ONE HANDRAIL RUNNING CONTINUOUS THROUGH FULL LENGTH OF STAIR 34\"/>



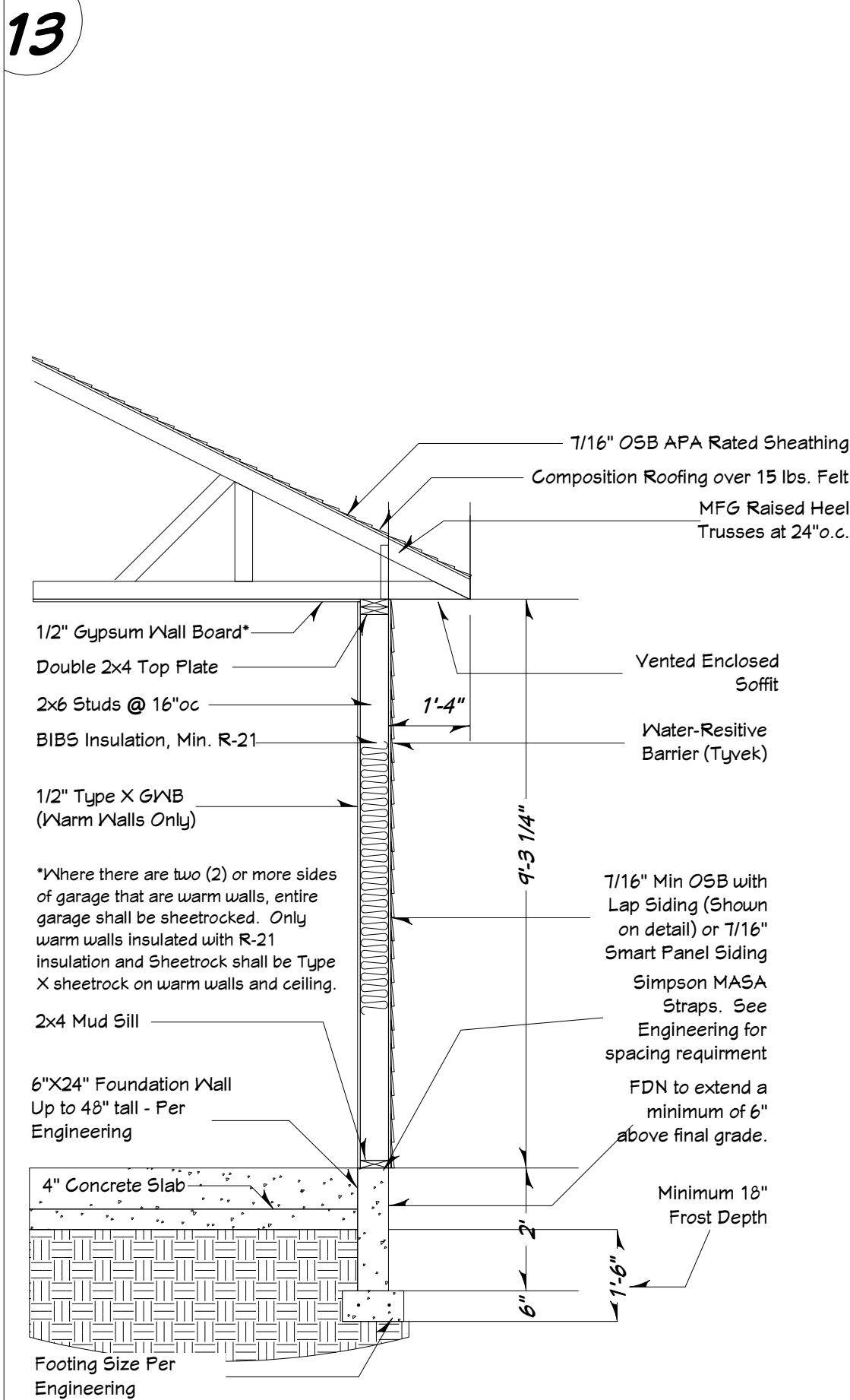
Stairs



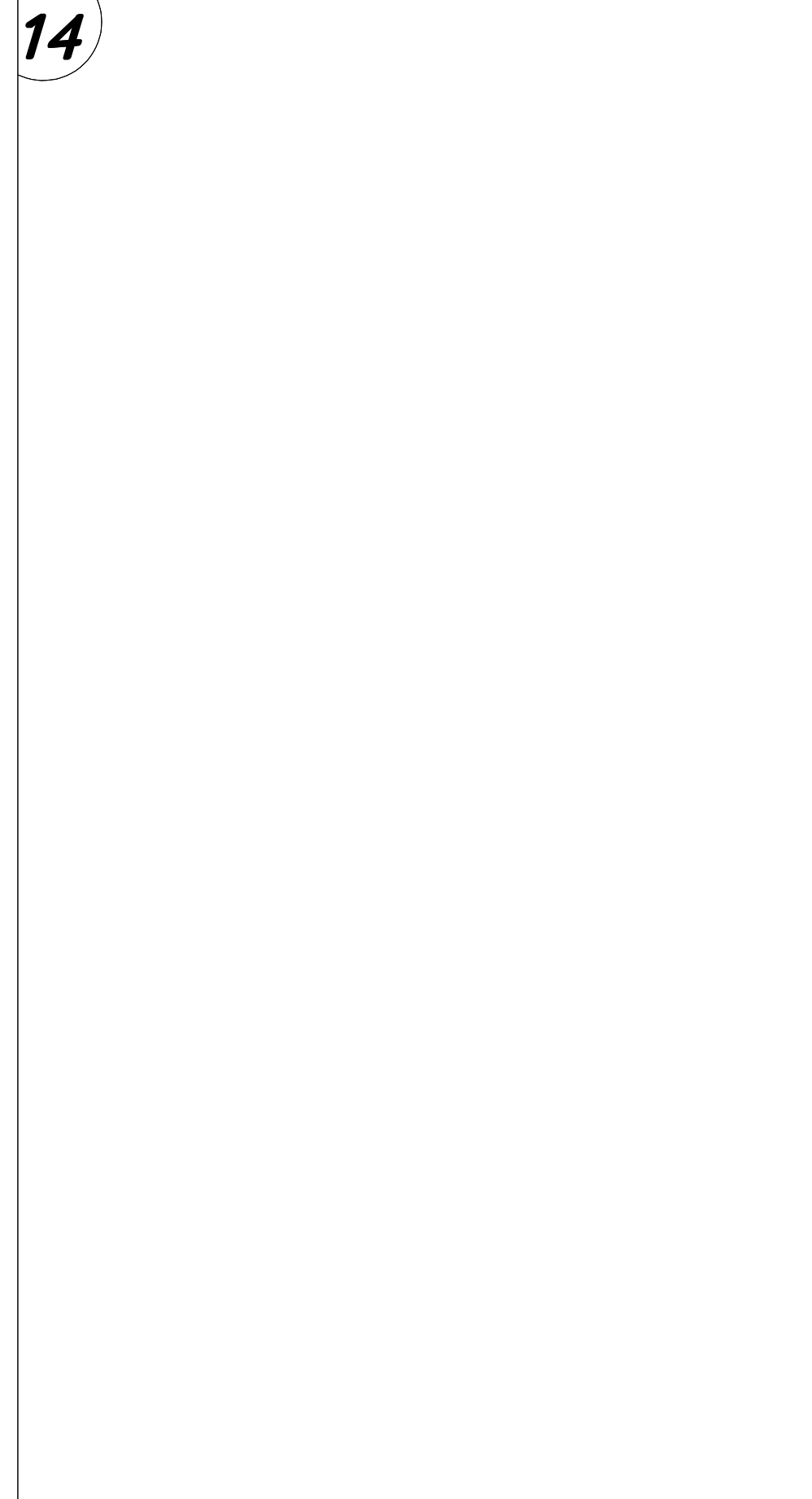
2 Story @ Garage Wall Section



2 Story Wall Section



Garage Section



16

Sheet Description
 Details
 Plan Name
 3155 BayShore

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Foundation Notes - Two Story

See Building Sections and Details Sheet within this set for Details and Callouts for Foundation and Wall to Foundation connectivity.

Two Story Perimeter Foundation that will support a 2x6 Framed Stud Wall shall consist of a 16"x 8" Min. Continuous Concrete Footing w/ (1) #4 continuous Rebar. Overlapping bars shall be 24" min. Corner bars shall be 24" @ each leg. Tie all bars securely with wire ties, (2) min. per splice.

Garage Foundations that will support a Two Story 2x6 Framed Stud Wall shall consist of a 16"x 8" Min. Continuous Concrete Footing w/ (1) #4 continuous Rebar. Overlapping bars shall be 24" min. Corner bars shall be 24" @ each leg. Tie all bars securely with wire ties, (2) min. per splice.

Foundation Stem Walls for a Two Story Bearing Walls shall consist of a 22" - 24" Tall x 8" Wide Stem Wall w/ (1) #4 continuous Rebar. Overlapping bars shall be 24" min. Corner bars shall be 24" @ each leg. Tie all bars securely with wire ties, (2) min. per splice.

All Continuous Concrete Footings for Exterior Bearing Walls that incorporate a Concrete Stem Wall shall have #4 Vertical Rebar with hook spaced @ 48" o.c. Mono pours are ok with without vertical rebar.

Please See Engineering "L" Pages for Holddown Locations. If Foundation needs to be a Stepped Foundation, See "Step Footing" on Engineering Sheet D1.

Foundation Contractor to verify vent placement is done to IRC code. To ensure plumbing access for fixtures, see drain dimensions on foundation. See Floor Joists MFG Layout for Start Location.

Framing Notes

Roof Trusses shall be Pre-Engineered/Pre-Manufactures Wood Trusses spaced at 24" o.c. Flat ceiling trusses over entire area with the exception of Scissor Truss over Specified areas. Note Line of soffit on Floor Plan.

Install "Simpson" H2.5 or H1 at each end of every truss. All clips shall be fully nailed with 'N10' nails per rfr. direction.

All Trusses shall be installed and braced according to the Manufacturer's instructions. Design calculations shall be kept with the Building Permit and shall be made readily available to the Building Inspector at the time of inspection. All Permit documents shall be kept in a waterproof enclosure for the duration of the project.

Outlooks shall be 2x4 spaced at 48" o.c. @ each Gable End.

Roof Sheathing Nailing shall be at 8d @ 6" o.c. Panel Edges and 12" o.c. @ Intermediates.

Wall Sheathing Nailing shall be at 8d @ 6" o.c. Panel Edges and 12" o.c. @ Intermediates, U.N.O. (See Panel Details for additional information.)

All Exterior Wall Headers shall be a 4x w/ 2 sheets of R-5 Rigid Insulation install on inside of header. In the case that a 6x header is required, insulation of header is not required.

All Exterior Wall Headers shall be a 4x8 DF#2 U.N.O.

All Blocking @ Roof Trusses exposed to the exterior shall be screened "Bird Block".

Roof Venting Requirements

Attic Ventilation shall be in accordance to Section R806. Exception applied due to use of continuous Ridge Vent ("Core-Vent") ventilating upper portion. Exception rate of ventilation per s.f. = 1/300, or 1 s.f. of ventilation per 300 s.f of Attic Space. Lower portion of roof is vented with bird blocks installed between every truss.

Roofing Notes

Use Composition Asphalt Shingles per Building Package Specification. Maintain a distance of 12" Min. from any Ridge or Valley. Use 2 Layers of Felt on roofs with less than 4/12 roof pitch. Use "Cor-a-Vent" Roof Vent or equal at entire Ridge Area. Use Aluminum Gutters or equivalent.

Truss Notes

Pre-Engineered / Pre-Manufactured Roof Trusses (Pitch Specified on Page 4 - If vaulted truss, inside vault is half pitch size U.N.O.) @ 24" o.c. Use "Bird Blocks" between each Truss @ Plate Line. Use "Simpson" H2.5 @ Each End of Every Truss. Place Outlooks over Gable Ends @ 48" o.c.

Garage Notes

Garage walls, columns, and ceilings adjacent to or under dwelling areas shall have materials approved for One-Hour fire resistive construction.

Air ducts passing through one-hour fire resistive construction shall be a minimum of 26-gauge steel.

All electrical switch plates and box covers in the garage shall be metal and lights with boxes behind them shall not be plastic.

All piping passing through one-hour fire resistive construction shall be metal.

Air ducts and or Piping supported by structural members that are required to be fire protected shall be installed after the sheetrock has been applied. Ducts and or Piping may be enclosed within a soffit that has the same degree of fire protection required for the structural members that it attaches to. Framing members for the soffit shall not exceed 16" on center.

Water heater shall have a relief valve drain line to the outside of the building. Per F2803.6.1 (10) of the 2012 IRC, the discharge not terminate more than 6 in above the floor or waste receptor.

General Notes

All construction to conform to the 2012 International Residential Code

CONCRETE: Compressive strength for basement and foundation walls exposed to weather as well as porches, carport slabs and steps shall be a min. 3,000 p.s.i. at 28 days. Concrete shall be air entrained at between 5 & 7%.

REINFORCING STEEL: All steel #4 or smaller shall be A-615, grade 40, unless installed in a reinforced concrete foundation, otherwise grade 60.

SMOKE ALARMS: "Shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. Required alarms shall receive their primary power from the building wiring and shall be equipped with battery backup. Alarms shall be interconnected to provide audibility in all areas."

MFG INSTALLATION: R106.1.2 Manufacturer's installation instructions. Manufacturer's installation instructions, as required by this code, shall be available on the job site at the time of inspection.

FASTENER NOTES: As a minimum, any fastener in contact with pressure treated wood must be Hot Dip galvanized (ASTM A123 for connectors and ASTM 153 for fasteners and anchors).

SANITARY SEWER: To Provide Adequate Drainage the Sewer Connection will exit the home UNDER the Footing. DO NOT EXCAVATE THE SITE TO DEEP!

WHOLE HOUSE VENTILATION: Ventilation shall consist of source specific intermittently operating fans with a minimum 50 cfm rating in bathrooms and utility and a minimum 100 cfm in the kitchen. Utility room fan to be controlled by a timer. Windows in habitable rooms to include integral fresh air intake vents.

DRYER VENTING: Dryer to be vented to outside. Maximum length not to exceed 25 feet less 5' for each 90 degree bend. Per IRC 1502.

RO Framing on Door Units for 1-3/8" Clearance

Table with 3 columns: Door Type, RO Width, RO Height. It details framing requirements for exterior doors, interior doors, and fire doors.

Whole-House Ventilation Using Exhaust Fans M1507.3.4

This section establishes minimum prescriptive requirements for whole-house ventilation systems using exhaust fans. A system which meets all the requirements of this section shall be deemed to satisfy the requirements for a whole-house ventilation system.

M1507.3.4.1 Whole-house ventilation fans. Exhaust fans providing whole-house ventilation shall have a flow rating at 0.25 inches water gauge as specified in Table M1507.3.3(1) (See Sheet 2). Manufacturers' fan flow ratings shall be determined according to HVI 916 or AMCA 210.

M1507.3.4.2 Fan noise. Whole-house fans located 4 feet or less from the interior grille shall have a sone rating of 1.0 or less measured at 0.1 inches water gauge. Manufacturer's noise ratings shall be determined as per HVI 915 (March 2009). Remotely mounted fans shall be acoustically isolated from the structural elements of the building and from attached duct work using insulated flexible duct or other approved material.

M1507.3.4.3 Fan controls. The whole-house ventilation fan shall meet the requirements of Section M1507.3.2 and M1507.3.2.1.

M1507.3.4.4 Outdoor air inlets. Outdoor air shall be distributed to each habitable space by individual outdoor air inlets. Where outdoor air supplies are separated from exhaust points by doors, provisions shall be made to ensure air flow by installation of distribution ducts, undercutting doors, installation of grilles, transoms, or similar means. Doors shall be undercut to a minimum of 1/2 inch above the surface of the finish floor covering.

- Individual room outdoor air inlets shall: 1. Have controllable and secure openings; 2. Be sleeved or otherwise designed so as not to compromise the thermal properties of the wall or window in which they are placed; 3. Provide not less than 4 square inches of net free area of opening for each habitable space. Any inlet or combination of inlets which provide 10 cfm at 10 Pascals are deemed equivalent to 4 square inches net free area.

Inlets shall be screened or otherwise protected from entry by leaves or other material. Outdoor air inlets shall be located so as not to take air from the following areas:

- 1. Closer than 10 feet from an appliance vent outlet, unless such vent outlet is 3 feet above the outdoor air inlet. 2. Where it will pick up objectionable odors, fumes or flammable vapors. 3. A hazardous or unsanitary location. 4. A room or space having any fuel-burning appliances therein. 5. Closer than 10 feet from a vent opening of a plumbing drainage system unless the vent opening is at least 3 feet above the air inlet. 6. Attic, crawl spaces, or garages.

Whole House Ventilation Controls & Operation M1507.3.2

M1507.3.2 Control and operation.

- 1. Location of controls. Controls for all ventilation systems shall be readily accessible by the occupant. 2. Instructions. Operating instructions for whole-house ventilation systems shall be provided to the occupant by the installer of the system. 3. Local exhaust systems. Local exhaust systems shall be controlled by manual switches, dehumidistats, timers, or other approved means. 4. Continuous whole-house ventilation systems. Continuous whole-house ventilation systems shall operate continuously. Exhaust fans, forced-air system fans, or supply fans shall be equipped with "fan on" as override controls. Controls shall be capable of operating the ventilation system without energizing other energy-consuming appliances. A label shall be affixed to the controls that reads "Whole House Ventilation (see operating instructions)." 5. Intermittent whole-house ventilation systems. Intermittent whole-house ventilation systems shall comply with the following: 5.1. They shall be capable of operating intermittently and continuously. 5.2. They shall have controls capable of operating the exhaust fans, forced-air system fans, or supply fans without energizing other energy-consuming appliances. 5.3. The ventilation rate shall be adjusted according to the exception in Section 403.8.5.1. 5.4. The system shall be designed so that it can operate automatically based on the type of control timer installed. 5.5. The intermittent mechanical ventilation system shall operate at least one hour out of every four. 5.6. The system shall have a manual control and automatic control, such as a 24-hour clock timer. 5.7. At the time of final inspection, the automatic control shall be set to operate the whole-house fan according to the schedule used to calculate the whole-house fan sizing.

Exterior Finish Notes

- All Building Faces - Horizontal "Smart Side" by LP Barge - 5/4 x 6 Pre-primed "White Wood" Corner Boards - 1" x 4" Pre-Primed "White Wood". Window Trim - 1" x 4" Pre-Primed "White Wood". Windows - White Vinyl Thermopane, sized per plan. Gutters & Downspouts - Continuous Metal. Gable Vents - Pre-manufactured 12" x 18" Wood.

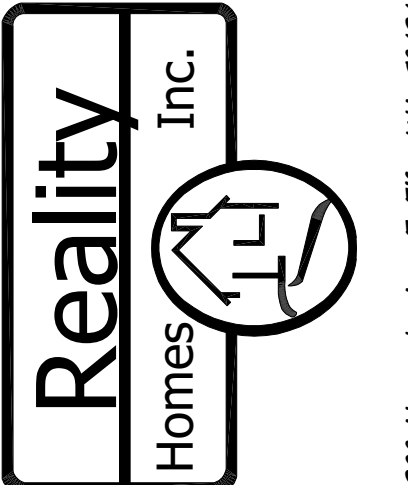
Kitchen Base Cabinets are standard 36" tall and 24" deep. Kitchen Wall Cabinets are standard 30" tall and 12" deep. Kitchen Wall Cabinets above appliances are 14" tall and 12" deep. Guest Bath Cabinets are standard 30" tall and 21" deep. Master Bath Cabinets are standard 36" tall and 21" deep.

Standard Appliance Openings* Dishwasher - 24"W x 36"H x 24"D Washer / Dryer - 30"W x 30"D Range - 30"W x 36"H x 30"D Fridge - 36"W x 70"H

IMPORTANT - If you have different sized than the standard openings please contact us so we can make a note of it in your file.

1. Panasonic Whisper Green Whole House Fan Model #FY08YKS3 Shall be set per Table Below

Table M1507.3.3(1) Continuous Whole-House Mechanical Ventilation System AirFlow Rate Requirements. Table with 5 columns: Dwelling Unit Floor Area (Square Feet), Number of Bedrooms (0-1, 2-3, 4-5, 6-7), and Airflow in CFM.



1309 Alexander Ave. E. File, WA 98124 PH - 253.722.2269 FX - 253.429.2070 Designer's Name: Reality Homes, Inc. Designer's Number: Project Number:

These Plans have been exclusively designed for Reality Homes Inc. and are to be considered an unpublished work, copyright law. This Plan Set may be used only by Lyndsay Walker for the Property located at 127-33 Kenicott Road, Chehalis, WA 98532. This Plan Set may not be altered, copied or otherwise manipulated or distributed without the written permission of Reality Homes Inc. Any violation shall be strictly enforced.

These plans were exclusively designed for Lyndsay Walker 127-33 Kenicott Road Chehalis, WA 98532 Parcel # - 17466001004

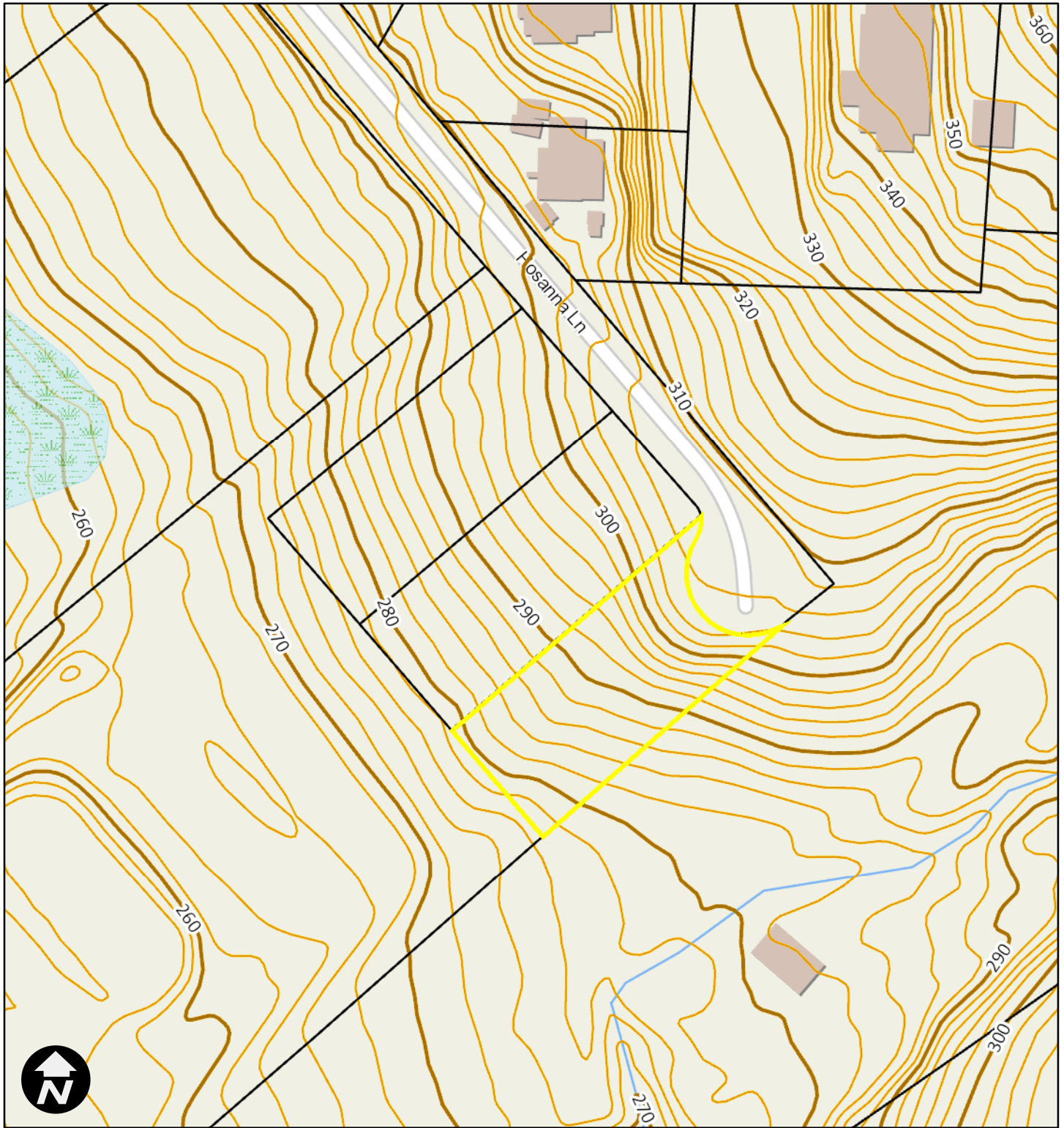
The Client / Home Owner / General Contractor shall verify all setbacks, dimensions, structural details, building codes, and grading requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract award. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, assemblies, etc. must be identified and resolved prior to commencement of construction. The builder shall not be held responsible for errors caused due to a lack of consultation by the sub-contractors. These Plans are diagrammatic in nature and are intended to identify the most significant elements of the building's construction. These Plans are intended to provide adequate information to the Governing Regulatory Agency regarding compliance with Local and International Residential & Building Codes. It shall be understood that non-regulatory items which are not specifically identified in these Plans shall be determined by the local authority having jurisdiction. All items refer to the said Building Order. In particular, the Options specified within the Building Order shall be strictly adhered to. If a building element is not shown on the plans but appears within the Building Order, the Building Order shall govern. In our continuing effort to improve our product, Reality Homes Inc. reserves the right to modify and change floor plans, elevations, and other details from time to time. These changes are computer generated and are subject to change in actual production. All square foot measurements are approximate.

Sheet Description 3155 BayShore

10 of 10

This Set of Plans is licensed for one time use and must be built only by Reality Homes Inc.






Lewis County GIS Web Map








6/1/2020, 1:49:06 PM

1:1,128

Search Results: Parcels

-  Override 1
-  Wetlands
-  2007 Water Elevation (NAVD88)
-  2007 Flood Inundation
-  FEMA BFE (NAVD88)

-  FEMA Panels
-  FEMA 100-Year
-  FEMA 500-Year
-  Floodway
-  Parcels

0 50 100 200 ft
NAD 1983 StatePlane Washington South FIPS 4602 Feet



Lewis County does not guarantee the accuracy of the information shown on this map and is not responsible for any use or misuse by others regarding this material. It is provided for general informational purposes only. This map does not meet legal, engineering, or survey standards. Please practice due diligence and consult with licensed experts before making decisions.



Applications In Review

Date Submitted: 2020-05-20 through 2020-06-02

Report run on:
06/02/2020 9:18:16 AM

Permit Type	Permit Number	Submitted	Permit Status	Site Address	Primary Contact	Project Description
Commercial Building Permit						
	BU-20-0028	05/26/2020	UNDER REVIEW	355 NW State St	Graves & Associates	Tenant Improvements for Cannabis processing
Residential Building Permit						
	BU-20-0027	05/22/2020	UNDER REVIEW	570 NE ADAMS AVE	HUGO PEREGRINO	Remodel and repair existing structure
Earthmoving						
	EM-20-004	05/21/2020	PENDING	1339 LOUISIANA AVE NW	CCA RETAIL Three, LLC	Additional parking to accommodate Harbor Freight
Engineering / Utility						
	EN-20-007	06/01/2020	PENDING	124 Hosanna Ln	Walker, Lyndsay	New water meter for proposed second unit-Condo
Fire Safety						
	FS-20-008	05/28/2020	UNDER REVIEW	486 N Market Blvd	Glacier Fire Protection	New automatic sprinkler system for second floor apartments 2020 Fireworks stand - 4th of July
	FS-20-009	06/02/2020	PENDING	1757 NATIONAL AVE N	Sturza, Ron	
Subdivision						
	UGA-PLAT-20-001	05/29/2020	COMPLETENESS REVIEW	0000 HAROLD DR	HATTON GODAT PANTIER	Proposed plat of 69 lots
Right-of-Way (Construction)						
	RWC-20-024	05/22/2020	UNDER REVIEW		Toledo Telephone Company, Inc.	Aerial fiber between 2690 NE Kresky and 2614 NE Kresky
	RWC-20-025	05/22/2020	UNDER REVIEW		Premier Western Construction	Tap into main and install a 4" fire line under NE Boistfort
Sign						
	SI-20-006	05/28/2020	PENDING	327 NW Park St	ESCO PACIFIC SIGNS	Install new wall sign for new Real Estate Company: Re-Max
UGA Residential Permit (New)						
	UGA-BU-20-0028	06/01/2020	COMPLETENESS REVIEW	124 Hosanna Ln	Walker, Lyndsay	Proposed New two unit Condo
UGA SEPA						
	UGA-SEPA-20-0004	05/29/2020	PENDING	0000 HAROLD DR	HATTON GODAT PANTIER	SEPA associated with preliminary plat UGA-PLAT-20-001



Applications In Review

Date Submitted: 2019-12-02 through 2020-05-19

Report run on:
06/02/2020 9:19:32 AM

Permit Type	Permit Number	Submitted	Permit Status	Site Address	Primary Contact	Project Description
Applicant Conference						
	AC-20-000	05/01/2020	PENDING	0 Sterling Heights Rd	City of Chehalis-Community Development Department	created in error will reuse
Boundary Line Adjustment						
	BL-19-007	12/26/2019	PENDING	0 Sterling Heights Rd	K & K Adventures, LLC	Move property line between two parcels
	BLA-20-003	03/06/2020	PENDING	632 NW California St	JH Kelly, LLC	Eliminate property line between two parcels and create one parcel
Commercial Building Permit						
	BU-20-0001	01/14/2020	READY	15 MEDIAN ST NE	Faster Permits	Interior remodel of existing restaurant
	BU-20-0010	03/13/2020	READY	1601 LOUISIANA AVE NW	PB2 Companies LTD	Interior remodel
	BU-20-0021	04/27/2020	READY	401 SW Parkland Dr.	Chehalis, City of	Covered seating area near new playground
	BU-20-0022	04/27/2020	UNDER REVIEW	401 SW Parkland Dr.	Chehalis, City of	New Playground for Rec Park
New Commercial Building Permit						
	BU-19-0083	12/09/2019	UNDER REVIEW	153 NW State Ave	CHS NW Chehalis	Construct new office and storage warehouse on site; including civil improvements
Residential Building Permit						
	BU-20-0007	03/06/2020	UNDER REVIEW	166 NE Fair Oaks Terrace	Blomdahl, David A	Interior remodel only. Convert second floor closets into bathroom
	BU-20-0019	04/20/2020	COMPLETENESS REVIEW	515 NEWAUKUM AVE SW	RAYMONDO G MENDEZ	Porch cover for existing porch
	BU-20-0025	05/13/2020	UNDER REVIEW	261 SW Cascade Ave	Walters, Dixie	Convert part of existing laundry room into a bathroom
Civil Plan Approval						
	CP-19-010	12/12/2019	PENDING	153 NW State Ave	Cenex Supply & Marketing Inc	Construct new office and storage warehouse on site; including civil improvements
Earthmoving						
	EM-20-001	01/10/2020	READY	2241 NE Kresky Ave	RB Engineering, Inc.	Permit for road frontage improvements
	EM-20-003	05/13/2020	PENDING	1820 NATIONAL AVE N	RB Engineering, Inc.	Site grading associated with Proposed new Bus Transit Center
Engineering / Utility						
	EN-19-057	12/09/2019	PENDING	116 Hosanna Ln	Pfannes, Frank J & Danielle E Anderson	Utilities for New Manufactured Home on this site
	EN-20-005	03/25/2020	PENDING	281 Hamilton Rd N	Enviornmental Contracting LLC	Review for Water & Sewer connections
	EN-20-006	04/22/2020	PENDING	1660 BISHOP RD	T MARK PROPERTIES, LLC	New utility connections for this Planned Unit Development
Fire Safety						
	FS-20-004	03/17/2020	READY	1601 LOUISIANA AVE NW	Telgian Engineering and Consulting	Minor sprinkler re-location due to interior remodel - See BU-20-0011
Right-of-Way (Construction)						
	RWC-19-090	12/02/2019	READY	370 NW State St	Comcast Cable Communications Management LLC	Overlash cable to this site Job#155054
	RWC-20-019	02/03/2020	READY	1245 Bishop Rd	Chavez-Viza, Elar	Application to fix damaged stormwater pipe connection
	RWC-20-023	05/19/2020	READY		Centurylink	access manholes to splice cable from 11th & Market to 20th & Jackson Hwy job# N 725404
Right-of-Way (Occupancy)						
	RWO-20-001	01/02/2020	READY	375 SW 11th Street	Comcast Cable Communications Management LLC	Overlash coax approx. 200 ft and pull 10 ft of existing conduit



Applications In Review

Date Submitted: 2019-12-02 through 2020-05-19

Report run on:
06/02/2020 9:19:32 AM

Permit Type	Permit Number	Submitted	Permit Status	Site Address	Primary Contact	Project Description
ESA (SEPA)						
	SEPA-20-0001	01/30/2020	INCOMPLETE APPLICATION	153 NW State Ave	CHS NW Chehalis	Construct new office and storage warehouse on site; including civil improvements
	SEPA-20-0002	05/13/2020	PENDING	1820 NATIONAL AVE N	RB Engineering, Inc.	Proposed new Bus Transit Center
UGA Boundary Line Adjustment						
	UGA-BLA-20-001	05/05/2020	PENDING	1660 BISHOP RD	T MARK PROPERTIES, LLC	This is to combine two parcels into one
UGA Civil Plan Approval						
	UGA-CP-20-002	03/12/2020	PENDING	1660 BISHOP RD	RB Engineering, Inc.	New civil plans for proposed Micro-home PUD
UGA Commercial						
	UGA-BU-20-0006	05/11/2020	READY	2364 JACKSON HWY	Harter, Justin Thomas & Lisa Faith	Convert existing building into Sports Bar
UGA Commercial (new)						
	UGA-BU-20-0004	04/21/2020	COMPLETENESS REVIEW	1660 BISHOP RD	T MARK PROPERTIES, LLC	New Micro-Home for this approved Planned Unit Development
UGA Conditional Use						
	UGA-CU-20-001	02/18/2020	COMPLETENESS REVIEW	0 Jackson Highway	Hawes, Devan	Proposal for a new 24 unit apartment building
UGA Residential Permit						
	UGA-BU-20-0003	04/20/2020	READY	193 IRONWOOD CT	Rodriguez, Jesus H Mejia And Sturdivant, Linsey M	New Covered Roof over existing patio
	UGA-BU-20-0005	04/23/2020	UNDER REVIEW	1784 BISHOP RD	Centralia Remodeling Plus	Convert existing garage into a Hobby Room
UGA SEPA						
	UGA-SEPA-20-0001	02/20/2020	PENDING	0 Jackson Highway	Hawes, Devan	Proposal for a new 24 unit apartment building
	UGA-SEPA-20-0003	05/01/2020	PENDING	1437 Bishop Rd.	McDaniel Cellular Telephone Company	Proposed new 150' Cell Tower
UGA Zoning Variance						
	UGA-VA-20-002	05/01/2020	COMPLETENESS REVIEW	1437 Bishop Rd.	McDaniel Cellular Telephone Company	Proposed new 150' Cell Tower

Code Enforcement/Abatement

Case Number	Date Submitted	Case Status	Site Address	Primary Contact	Description
BV-19-003	02/05/2019	OPENED	51 13th ST SW	Urban Properties	Structure deemed UNSAFE IBC. Structure deemed a public nuisance City Municipal Code.
BV-19-004	02/05/2019	OPENED	0059 13TH ST SW	Urban Properties	Structure deemed UNSAFE IBC. Structure deemed a public nuisance City Municipal Code.
BV-19-008	03/22/2019	OPENED	855 SW 20TH	Pettit, Walter M	unpermitted demo & construction work
BV-19-009	04/23/2019	OPENED	250 RIVERSIDE DR SW	JAMES R CLARK	unpermitted sign pole erection - operating outside the scope of permitted work
BV-19-010	06/04/2019	OPENED	1423 JOHNSON ST SW	JOHN & PATSY GAUT	accessory structure with deteriorated/dilapidated sill plate and exterior wall finish
BV-19-011	06/20/2019	OPENED	0075 9TH ST SW	ALBERT F WINEBRENNER	Unpermitted construction of a fence within street setback exceeding maximum height requirement
BV-19-014	10/18/2019	OPENED	0420 ALASKA WAY NE	DONALD WHEAT	RV Being Utilized as Habitation
BV-19-017	11/13/2019	OPENED	32 sw 13th st		Unsafe building
BV-19-018	11/15/2019	OPENED	0032 13TH ST SW	Urban Properties	Structure deemed UNSAFE IBC. Structure deemed a public nuisance City Municipal Code.
BV-19-019	12/13/2019	OPENED	0659 20TH ST SW	ALFA M. MENDEZ & GLADIS M. MENDEZ	Dangerous Garage Building
BV-20-001	01/14/2020	OPENED	441 NE Adams Ave	Kenyon, Aaron	Non-permitted duplex
BV-20-002	02/10/2020	OPENED	434 NW Prindle St	MCHB, LLC	Building walls & mezzanine without a permit and a person residing in the factory
BV-20-003	02/10/2020	OPENED	434 NW Prindle AVE	MCHB, LLC	Questionable building columns
BV-20-004	02/11/2020	OPENED	638 WEST ST NW	Roe, Allyn & Andrea	High moisture content and mold interior and exterior to the structure
BV-20-005	03/12/2020	OPENED	0107 INTERSTATE AVE SW	BS PROPERTIES INC	Water consistently appearing on Dance Room floor.
BV-20-006	05/15/2020	OPENED			Continued unpermitted fill activity in the floodplain
GV-19-002	05/28/2019	OPENED	855 SW 20TH	Pettit, Walter M	lack of active garbage service
GV-20-001	01/09/2020	OPENED	1467 NE North End Ave.	CB National LLC	Lack of Regular Garbage Service
GV-20-002	01/17/2020	OPENED	75 9TH ST SW	ALBERT F WINEBRENNER	Lack of Garbage Service
PV-19-005	05/28/2019	OPENED	855 SW 20TH	Pettit, Walter M	Unlawful habitation of a recreational vehicle
PV-19-006	05/31/2019	OPENED	1993 MARKET BLVD S	CHEHALIS EAGLES #1550	Unlawful Habitation of a Recreational Vehicle
PV-19-007	07/10/2019	OPENED	1421 NW Louisiana Ave	Chehalis Centralia Airport	Unpermitted fill activity, spreading of deliterious material in the floodplain
UV-20-001	01/08/2020	OPENED	75 9TH ST SW	ALBERT F WINEBRENNER	Lack of Hot & Cold running water - UHC
UV-20-002	01/17/2020	OPENED	0432 ADAMS AVE NE	MICHAEL RENVOIZE	Lack of Hot & Cold Running Water
UV-20-007	04/27/2020	OPENED	52 SE Spring St	Ashley, Kathy	there is smelly black water (similar to sewer smell) running from under the house out into a ditch to the street

firm-name	Phys-addr1	Phys-City	Phys-Zip	Product/Services
Renewals start here				
BLUHM AND ASSOCIATES LAND SURVEYORS, INC.	1068 S MARKET BLVD	CHEHALIS	985323426	LAND SURVEYING SVCS
HERBAN GROWTH, LLC	2100 N NATIONAL AVE	CHEHALIS	985322301	
COMCAST BROADBAND SECURITY	1701 JOHN F KENNEDY BLVD FL 32	PHILADELPHIA	191032855	HOME SECURITY SERVICE
CASCADE GUTTERS	10520 INDEPENDENCE RD SW	ROCHESTER	985799326	SVCGUTTER INSTALLATION
REV. HEIDI BUSWELL, LLC	694 S MARKET BLVD	CHEHALIS	985323418	SPIRITUAL COUNSELING/HEALING, WEDDINGS AND FUNERALS
REGAL SKIN AND LASER	1958 S MARKET BLVD	CHEHALIS	985324124	SKIN AND LASER SERVICES TO INDIVIDUAL CLIENTS, SALES OF ASSOCIATED COSMETICS AND CONTRACT SERVICES OF ARNP TO OUTSIDE PARTIES.
FURNITURE WORLD	563 N MARKET BLVD	CHEHALIS	985322109	
UNITY ELECTRIC, LP	20306 15TH AVE NE APT A	SHORELINE	981551222	ELECTRICAL CONSTRUCTION
CHS NORTHWEST	153 NW STATE ST	CHEHALIS	985320000	PROVIDE HOME HEATING BULK PETROLEUM
DOT.HELP	243 NW CHEHALIS AVE	CHEHALIS	985322033	ON AND OFF SITE COMPUTER SUPPORT. SPYWARE/VIRUS REMOVAL, TROUBLESHOOTING OF POORLY RUNNING SYSTEMS, HARDWARE REPLACEMENT, CONSULTING ON BEST PRACTICES
FERRELLGAS, L.P.	2811 JACKSON HWY	CHEHALIS	985320000	RETAIL PROPANE
MILLER & SONS, INC	715 CHAMBERS ST NE	OLYMPIA	985064837	

MOERKE & SONS PUMP & DRILLING INC.	1162 NW STATE AVE	CHEHALIS	985321829	WATER WELL DRILLING, WATER PUMP REPAIR AND PARTS
SUNSET AIR, INC.	5210 LACEY BLVD SE	LACEY	985032444	HVAC DESIGN, INSTALLATION, AND SERVICE. ALSO REPLACEMENT WINDOWS AND FIREPLACES.
UNIFIRST CORPORATION	13059 41ST AVE NE	MARYSVILLE	982718588	INDUSTRIAL UNIFORM CLEANING & GARMENT RENTAL
HERITAGE KUNG FU & TAI CHI	249 NW CHEHALIS AVE	CHEHALIS	985322033	
PROTEMP ASSOCIATES, INC.	9788 SE 17TH AVE	PORTLAND	972227332	HVAC INSTALLATION, REPAIR, AND MAINTENANCE
DALEBOUT CONSTRUCTION LLC	209 GUERRIER RD	CHEHALIS	985328502	REMODELING OF RESIDENTIAL HOUSES
BLACK HILLS, INC.	1003 85TH AVE SE STE A	OLYMPIA	985015793	HVAC SERVICE AND INSTALLATION
ALTA FOREST PRODUCTS LLC	810 NW ALTA WAY	CHEHALIS	985327648	CEDAR AND STAINED FENCING
DM FENCING	2613 COOKS HILL RD	CENTRALIA	985319154	Build fenceses for home owners
HOMETOWNE INSURANCE INC.	139 COULSON RD	CHEHALIS	985328786	CASULTY AND PROPERTY INSURANCE
ADVANCED SEWER SOLUTIONS, INC	21314 164TH AVE E	GRAHAM	983388542	PLUMBING AND SEWER REPAIR AND REPLACEMENT
CELTIC SHEPHERD FARMSTEAD	455 NELSON RD	WINLOCK	985969732	lawn care - mowing, hand weeding, leaf cleanup, edging, hand pruning shrubs,
SNELSON COMPANIES, INC.	601 W STATE ST	SEDRO WOOLLE	982841560	GAS PIPELINE INSTALLATION & REPAIR
WEST COAST ROOFING & SIDING LLC	1008 CENTRALIA COLLEGE BLVD	CENTRALIA	985312729	Roofing and Siding installation
INTERFACE SECURITY SYSTEMS, L.L.C.	3773 CORPORATE CENTRE DR	EARTH CITY	630451130	SERVICES, EMPLOYEE IS OVERSEEING OUR SALES TEAM
FOREVERLAWN OF PUGET SOUND LLC	3324 75TH AVE SE	OLYMPIA	985016347	SALES OF SYNTHETIC GRASS.07/2008 SALE AND INSTALLOF SYNTHETIC TURF.
N.W. MOUNTAIN AIR, INC.	1350 THORNTON AVE SW	PACIFIC	982775717	AIR CONDITIONING (HVAC)110103 HVAC CONTRACTOR DESIGN BUILD COMMERCIAL & INDUSTRIAL
METROPCS CALIFORNIA, LLC	12920 SE 38TH ST	BELLEVUE	980061350	Wireless Communication Services
ON CALL CONSTRUCTION LLC	1785 CENTRALIA ALPHA RD	CHEHALIS	985329526	general construction and remodeling
New Licenses start here				
BEST ROOFING CO.	438 SW WILLIAM AVE	CHEHALIS	985322930	repair and install roofing
ADT COMMERCIAL LLC	21312 30TH DR SE	BOTHELL	980217010	COMMERCIAL ELECTRONIC SECURITY ALARM SERVICES
VISIBLE SERVICE LLC	1 VERIZON WAY	BASKING RIDGE	079201025	Telecommunications - Wireless.

CASCADE MINI EXCAVATING INC	3931 146TH AVE SW	TENINO	985899477	COMMERCIAL PLAYGROUND INSTALLS, EXCAVATING
CHEHALIS POLITICAL CONSULTING SERVICES	1795 S MARKET BLVD	CHEHALIS	985323828	Public Affairs Consulting.
PLAY-CREATION	2104 SW 152ND ST	BURIEN	981662064	WHLSSALE OF PLAYGROUND EQUIPMENT
A&M COMMUNICATIONS INC	202 NE 181ST AVE	PORTLAND	972306664	Telecommunications Service
EVERGREEN CUSTOM LEATHER AND BEADWORK	286 SW 15TH ST	CHEHALIS	985323615	LEATHERWORK AND BEADWORK
MBSE INC, DBA MARVS BACKHOE SERVICE	10702 YAKIMA AVE S	TACOMA	984445872	UNDERGROUND UTILITIES - REPAIR AND REPLACE
CHEHALIS WEST RETIREMENT CENTER	478 NW QUINCEY PL	CHEHALIS	985320000	
LIL KIDS N ME CHILDRENS CENTER LLC	1319 BISHOP RD	CHEHALIS	985329263	WE ARE A CHILDCARE CENTER TAKING CARE OF CHILDREN AGES 1 TO AGE 6.
DEBRA MARKS AT WOODLAND VILLAGE	2100 SW WOODLAND CIR	CHEHALIS	985328751	Cosmetology.